

The Lincolnway East Local Historic District was established by an ordinance enacted by the Common Council of the City of South Bend in 1984.

**PUBLISHED BY
THE HISTORIC PRESERVATION COMMISSION OF
SOUTH BEND & ST. JOSEPH COUNTY (2003)**

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This publication was made possible by the dedication and perseverance of many individuals and organizations that have contributed to the creation and implementation of the historic districts program in the city of South Bend.

The Lincolnway East Historic District was conceived by a cooperative effort of property owners from within the district. Application for designation of the district was assisted by Beverly Beck, Jerry Hubner, Tina Martin, Nathan Martin and Jeff Berndt, who aided the original development of the guidelines, and the Historic Preservation Commission's Historic Districts Committee members: Martha Choitz, John Oxian, Joann Sporleder and Karen Kiemnec, the Commission's Director. Commission members at the time of the district's designation in 1984 were: Joann Sporleder, *President*; John Oxian, *Vice President*; Charles Hayes, *Secretary*; Odel Newburn, *Treasurer*; Martha Choitz; Gina DeLaruelle; F. Jay Nimtz and Janeanne Petrass.

Much of the text in this publication regarding history and architectural styles has been adapted from the 1993 edition of the *South Bend Summary Report for the Indiana Historic Sites and Structures Inventory*. Many photographs are also drawn from the work for this publication. Much credit for these facets of the guidelines goes to Fred Holycross, editor of the Summary Report, and the many assistants and interns who contributed to its compilation.

The map of the Lincolnway East Local Historic District and its boundaries was provided by the staff of the Area Plan Commission of St. Joseph County.

Most technical illustrations have been excerpted from the *Preservation Briefs* series published by the Preservation Assistance Division of the National Parks Service, U.S. Department of the Interior. Some technical illustrations are from the 1978 publication by the Preservation League of New York, *A Primer: Preservation for the Property Owner*.

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BILL NO. 33-84

Ordinance No. 7343-84

AN ORDINANCE AMENDING ORDINANCE NO. 4990-68, AS AMENDED, COMMONLY KNOWN AS THE ZONING ORDINANCE OF THE CITY OF SOUTH BEND, INDIANA, (Chapter 21, Municipal Code), (Lincolnway East, South Bend, St. Joseph County, Indiana).

STATEMENT OF PURPOSES AND INTENT

TO ESTABLISH an Historic Preservation District, to be known as the Lincolnway East Historic District, with such uses as permitted in Section 21-36.1 of the Municipal Code of the City of South Bend, such District

having been recommended by the Historic Preservation Commission of South Bend and St. Joseph County, for the purpose of preserving the architectural, historical, and cultural significance and educational value of the described area.

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of South Bend, Indiana as follows:

SECTION 1. Ordinance No. 4990-68, as amended, which ordinance is commonly known as the Zoning Ordinance of the City of South Bend, Indiana, be and the same hereby is amended in order that the zoning classification of the following described real estate in the City of South Bend, St. Joseph County, State of Indiana:

A parcel of land being a part of the West Half of the Northwest Quarter of Section 9, Township 37 North, Range 2 East, Portage Township, St. Joseph County, Indiana and being more particularly described as follows: Beginning at the northwest corner of Lot J of Leer's Survey, thence southeast along the south bank of the St. Joseph River to the northwest corner of William Rupel's First Addition, thence south along the west boundary of William Rupel's First Addition, thence northwest along the south right-of-way line of the alley parallel and just north of the Conrail Railroad Tracks to the point of intersection with the western boundary line of Lot BB of Leer's Survey extended south to the south right-of-way line of said alley, thence northeast along the western boundary of Lot BB across Lincolnway East to and along the western boundary of Lot J to the northwest corner of said lot and the place of beginning. Including but not limited to Lots 2 through 17, 33, 34, BB, J through V; J.H. Kelsey's Sub of Lot 13 of Leer's Survey; Delmar C. Leer's Sub of Lot 5 and part of W of Leer's Survey; Kinzie and Good's Sub in Lot 1 of Jacob Leer's Sub; and the river lots across from said properties.

BE AND THE SAME IS HEREBY established as an Historic Preservation district with such uses as permitted in Section 21-36.1 of the Municipal Code of the City of South Bend, Indiana, and shall be designated the Lincolnway East Historic District.

SECTION 2. The Historic Preservation Commission of South Bend and St. Joseph County shall adopt guidelines for the Lincolnway East Historic District.

SECTION 3. This Ordinance shall be in full force and effect from and after its passage by the Common Council, approval by the Mayor and legal publication.


Member of the Common Council

1st READING: 4-9-84
PUBLIC HEARING: 6-11-84

PUBLIC HEARING: 6-11-84
NOT APPROVED:

REFERRED:
PASSED: 6-11-94

The District and Its Properties

HISTORY

The Lincolnway East Historic District was designated by ordinance in 1984. It is the only local historic district in the city that has been certified as eligible to be listed in the National Register of Historic Places. One other local district, Chapin Park, has already been listed on the National Register in 1982. The land was originally owned by Christian Holler, a pioneer of German Township who purchased it in 1829 from the U.S. Land Office in Fort Wayne. He sold it in 1835 to fellow pioneers, Samuel and Mary Leer, who incor-



porated it into their homestead; their hewn-log cabin remained here until as late as 1907.

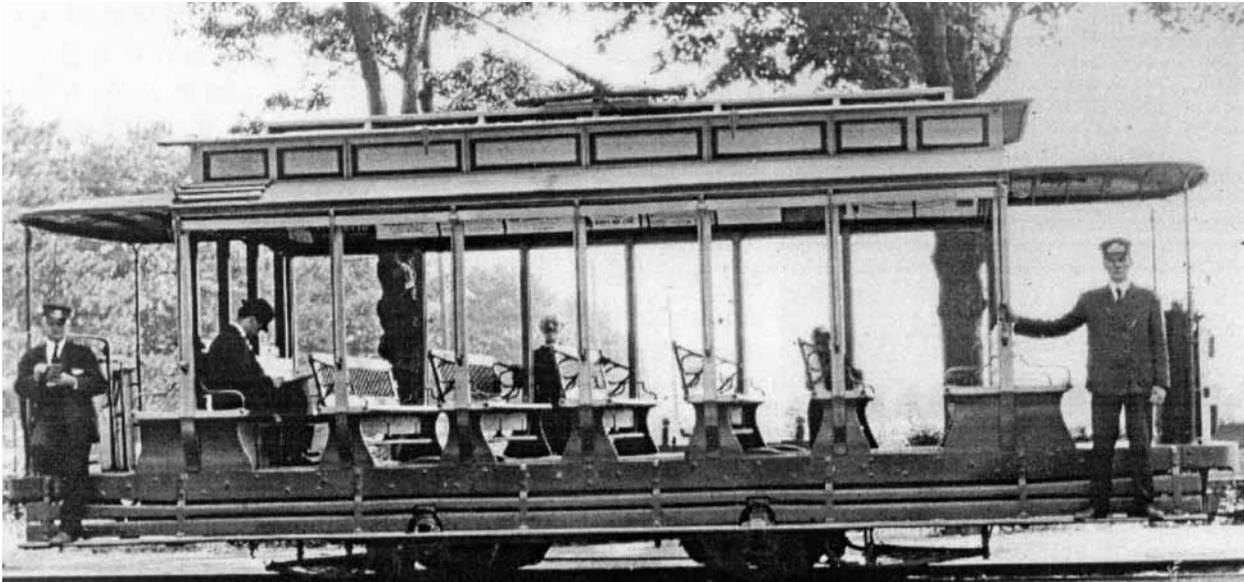
After the Leers' deaths the land was divided among their heirs with some complications and contention. In 1870, the land was partitioned by action of the Circuit Court; eventually most came into the hands of their son, Jacob Leer.

Jacob subdivided a small portion of this land abutting the old Vistula Road in 1886 and a larger portion in 1888, leaving the land south of the railroad tracks clear for agriculture. Jacob's son, Delmar, also became involved in real estate to assist his father in the promotion of his subdivision; he platted a portion of the land here after Jacob's death in 1893 when the property was divided between Delmar and his sister, Kittie May. The area was further subdivided in 1907 and in 1923.

The first house built here was likely that of Catherine C. Wenger, the widow of Martin Wenger; both were pioneers who homesteaded directly to the west of the Leer property.

Mrs. Wenger had a frame Queen Anne structure built in 1890 (1164 Lincolnway).

This area developed rapidly after 1895, probably due to its favorable location away from the dirt and noise of the growing city and its ready access to the South Bend & Mishawaka streetcar line located on Vistula Avenue. This streetcar company began in 1882; by 1890 the route was heavily traveled. In 1915 Vistula became part of the Lincoln Highway, one of the nation's first coast-to-coast highway systems. As a result, Vistula Avenue was changed to Lincolnway East.



In the early years the neighborhood became home primarily to middle-class families. The 1910 Federal Census listed eighteen residences. Three were rented – to a florist, a painter-decorator and a time keeper (only heads of households were listed). The remainder of the homes were lived in by owners. Among these were a cigarmaker, traveling salesman, lawyer, coal dealer, two carpenters and a cabinet maker. Delmar Leer also had a house built on what had been his grandparent's land.

Other notable owners in 1900 were William Hoke, secretary-treasurer of the Hoke Manufacturing Company, makers of agricultural equipment and Albert M. Harris, founder of South Bend Spark Arrestor Co. The parents of Thaddeus M. Talcott, Jr. lived here for a number of years around the turn of the century. Talcott was a lawyer who was elected to the Indiana House of Representatives in 1902, who served one term as a State Senator in 1904.

The majority of the residences in the district were built between 1890 and 1925 and consist of a mix of vernacular structures – American Foursquares and Gabled Ells – and "styled" structures – Queen Annes and Bungalows. Most were built on Vistula facing the river. Although the area has always been primarily residential, two commercial structures were also erected here: a frame store building (c.1905), the Post Grocery Company, at 1416 Leer and a greenhouse, the Riverside Floral Company, at 1324 Lincolnway (demolished in 1991).

BUILDING TYPES & STYLES

Types

AMERICAN FOURSQUARE

The preeminent post-Victorian house type during the first half of the Twentieth Century, the Foursquare's simplicity and practicality made it ideal for economical construction and maintenance. Two stories in height with a square ground plan, this design encloses the most volume with the least material within the rectangular framework of the balloon frame construction. Capped with a gabled or hipped roof, many have one or more dormers which along with porch variations allow great latitude in the stylistic decoration of the house. Foursquares may be commonly found with Queen Anne, Colonial Revival and Craftsman features.



BUNGALOW

Characterized as a low house surrounded by porches, the Bungalow was adapted by the British in India. This type surged in popularity in California during the first decades of the Twentieth Century. Single storied, often with dormered attics, these houses feature low pitched roofs with wide unenclosed eave overhangs, exposed roof rafters and either partial- or full-width porches. The

Bungalow was championed by Gustav Stickley in his magazine, *The Craftsman*, and most bungalows were built in the Craftsman style although many are also decorated with Colonial Revival and Prairie influences.

CARRIAGE HOUSE

The urban equivalent of a barn, a carriage house was often constructed to complement the residence of a family wealthy enough to maintain its own horses and vehicles. Though sometimes resembling its rural cousin in rustic appearance, a carriage house often mimicked the architectural style of its associated residence. These buildings were usually two stories in height with the upper story used to quarter household servants.



COMMERCIAL FUNCTIONAL



Designed for urban commerce, these buildings are typically rectangular in plan, filling the available space of a lot with large display windows facing the street. Usually the roof has a low slope from the front to rear. Even when a gabled roof form discharges to the sides, the front wall is usually articulated with a large parapet providing space for street directed signage. Sidewalls have little or no fenestration. These buildings may be constructed of wood frame or masonry. The front

wall typically has a central entry flanked by a three-part window: kick-plate, display window and transom.

CROSS GABLE

A catch-all category to describe simple houses of one, two or one and a half stories, which may be decorated in any style. They are most often found locally with stick-style features such as turned-post porches with scrollsawn tracery and brackets. Such buildings, which were often constructed by carpenter builders from ready-cut kits or without professional designs are often called “vernacular” buildings.



GABLE FRONT



This house type possesses a simple rectangular ground plan and is one story or one and a half stories in height with a front facing gabled façade. It may have been a simplification of the Greek revival style popular during the mid-Nineteenth Century. Though sometimes adorned with projecting front porches, many are very simple in appearance. These houses were often built with decorative elements in the current fashion of the day well into the Twentieth Century. They typical-

ly have four main rooms of varying size, with an interior stair and often have a lean-to addition at the rear.

Styles

CARPENTER BUILDER (VERNACULAR)

Many modest houses are built by construction laborers with little artistic or stylistic intention. These buildings are often simple in appearance with detail limited to the features necessary to create effective enclosure. Where decorative detail is employed, it is often by installation of manufactured elements commercially available through builders' supply yards or through catalog sales. Such buildings are however still of historical interest as representing these elements of cultural development.



CRAFTSMAN

Influenced by the English Arts and Crafts Movement, the craftsman-style employed a more rustic appearance which nonetheless sought to ennoble both the construction worker and the occupant through use of artistic materials and details. Emphasis was placed on the honest and naturalistic use of materials such as unpainted wood and fieldstone.

Typical details include: simple geometric brackets, wood shingle siding, tapered square columns of wood or masonry and posts raised on pedestals that often extend to the ground.

STICK STYLE

Following principles laid out in the mid-Nineteenth Century by Andrew Jackson Downing, this style of wood frame construction sought to express its structural system on the exterior by mixing board trim with various wood sidings. Both trim and surface treatments might be vertical, horizontal or diagonal, usually mixed, and included extended rafter tails and brackets, which were often artistically carved. The style, which was nationally popular between 1850 and 1875, appeared relatively late in South Bend.



QUEEN ANNE

Often called "Free Classic," this style employed an informal blend of 18th-Century English and medieval architecture. The most well-known Queen Anne feature is the corner tower or turret. To form the style, simpler cubical forms were adorned with complex roof shapes – pyramidal and gabled combinations – and non-formulaic

or "free" use of Palladian windows, columns, returns, dormers and other elements. This style was popular from the mid 1880s until about 1910.

RESIDENCES

1414-1416 Leer Street (non-contributing)

Built in 1903 by Charles F. Post Jr., to house the Post Grocery Company. Mr. Post sold the building in 1906, after which it had numerous owners. This trend continued until 1937 when it was purchased by Elery Aeby, who opened Aeby's Used Furniture Store here. The building remained in the Aeby family until 1974.



1422 Leer Street (non-contributing)

Built in 1900 by George and Anne Petrie. They were a retired couple who lived in the house until 1911 when it was sold to Elmira Augustine. Elmira sold the house two years later to Alonzo Milborn, an employee of the Studebaker Corporation. He resided there until 1917 when he sold it to Delmar C. Leer, real estate developer. Mr. Leer sold the house to Charlotte Benz in 1919. Ms. Benz used the house as an investment property.



1142 Lincolnway East (significant)

Built in 1894 for George M. & Pearl Brown. Mr. Brown was a cigar-maker. After Mr. Brown died in 1938, his widow continued to live in the house into the 1940s, at which time she sold it to Arthur and Edith Feller.



1150 Lincolnway East (non-contributing)

Built in 1903 for Dr. Erastus M. Drollinger, one of South Bend's pioneer physicians, and his wife, Mary. Dr. Drollinger died of a stomach ailment in 1913; however, his widow continued to reside in the house until 1926. Mrs. Drollinger sold the house in 1927 to Cora Waterfield, a clerk.



1154 Lincolnway East (contributing)

Built in 1905 by Elmer C. & Lucy Miller. Mr. Miller was the lumber purchasing agent for Studebaker Corporation, and ordered all the lumber for this house from the same source in Oregon as the lumber used in the Studebaker Mansion. In fact, many of its interior details are similar to those in Tippecanoe Place, one of the Studebaker mansions.



1158 Lincolnway East (contributing)

Built in 1923 by Martha G. Loughman and her daughter, Edith B. Miller. The Millers owned the house until 1962 when Edith's son, George L. Miller, sold the house to Fred & Ida Auer.





1164 Lincolnway East (significant)

Jacob Leer, son of prominent farmer and pioneer, Samuel Leer, sold this land to Catherine C. Wenger in 1889. Mrs. Wenger was the widow of Martin Wenger, from whom she inherited large tracts of land. Catherine built this house in 1890 and sold it a year later to James H. Leach, who used the house as a rental.



1168 Lincolnway East (contributing)

Built in 1922 by James Martin, a broker. He and his wife, Clara, resided there until 1925, after which he rented the house to Reilly & Russell as a chiropractor's office. The building was used in this manner until 1933.



1172 Lincolnway East (significant)

Built in 1894 by Chauncy and Elizabeth Stuart. Chauncy was an employee of the South Bend Toy Company. They sold the house in 1895 to Reverend Joel & Elizabeth Shively. Rev. Shively was the minister at the German Baptist Church. Upon their deaths, their sons, Ben and Aaron, owners of South Bend Cement Co., used the house as a rental from 1901 to 1920.



1202 Lincolnway East (contributing)

Built in 1902 by John Rohrer, a real estate agent. He sold it in 1921 to William & Hattie Cody. Mr. Cody divided the house into two apartments, living in one and renting out the other. Mr. Cody sold the house in 1938 to Carrie L Dickey, who also used the house as a rental.



1208 Lincolnway East (contributing)

Jacob Leer, son of prominent pioneer and farmer, Samuel Leer, sold this land to Eva D. & Albert M. Harris for \$800.00. Mr. Harris began the South Bend Spark Arrestor Company with Mr. Kingsley in 1887. The arrestors were designed to increase the safety of tractor engines.



1212 Lincolnway East (significant)

In 1906, Kitty Mae Leer, youngest of pioneer Samuel Leer's children, sold the land to Jerome S. Robinson for \$855.00. Mr. Robinson built this Queen Anne house a year later. Mr. Robinson, a salesman, lived in the house until 1923 when he sold it to Charles Clooney.

1216 Lincolnway East (significant)

Constructed in 1895 by William H. Harper, owner of William H. Harper Clothing, Dry Goods, Shoes and Notions, located on East Sample Street. Mr. Harper sold the house in 1897 to John O. Andreas, the owner of J.O. Andreas and Son Wholesale Grocers on East Jefferson. Mr. Andreas sold it in 1898 to Martha C. Loughman; she owned the house until 1979.



1222 Lincolnway East (significant)

Built in 1895 by Delmar C. Leer, a prominent realtor. By 1907, Delmar Leer owned nearly 100 lots and had built 40 houses in the Lincolnway East area. Mr. Leer lived in this house until his death in 1941.



1224 Lincolnway East (contributing)

Built by Kathryn Leer-Bosman, granddaughter of Delmar Leer, in 1916 and sold to Fred A. Hite that same year. Mr. Hite was the principal of Elder School and served as secretary for the Junior Red Cross. Mr. Hite and his wife, Rose, lived in the house until 1939.



1228 Lincolnway East (significant)

In 1913, D. Sherman Ellison hired local architect, Ernest Young, to design this house. Mr. Ellison came to South Bend in 1908 to work for the South Bend News-Times. He eventually left this job to become a salesman, and president of the D. Sherman Ellison Insurance Agency.



1232 Lincolnway East (significant)

Built circa 1909 by Edward Muessel and sold to John & Alma Sailors for \$5,000.00. Mr. Sailors was partial owner of Sailors Brothers Home Outfitters located on South Michigan Street. The Sailor family lived in the house on and off until 1945 when it was sold to Herman Erhardt.



1236 Lincolnway East (significant)

Built in 1897 by Charles D. Hildebrand, a carpenter with his own contracting business. In 1899, Mr. Hildebrand began a coal and wood trade business under the name Crescent Fuel and Feed Company located on East Sample Street. The Hildebrands lived in the house until 1968.





1244 Lincolnway East (DEMOLISHED LATE 1990s)

Constructed in 1898 for Ella Doyle as a rental property. Miss Doyle married in the early 1900s to Mr. Featherstone, after which she sold the house to retired attorney, Thaddeus Talcott, Sr. and his wife, Nellie. The house remained in the Talcott family until 1961 when Harrison Talcott, Sr. sold the house to Frank De Meulenaere.



1306 Lincolnway East (non-contributing)

Built in 1895 by W.F. & Libbie Brown and sold to Arthur and Mabelle Bacon. Mr. Bacon was a bookkeeper for Bissell Plow Company.



1312 Lincolnway East (contributing)

Originally constructed in 1901, this Queen Anne house remained vacant until 1903 when it was purchased by Dr. Louis S. LaPierre. Dr. LaPierre was a dentist. He and his wife, Clara, lived in the house until 1905 when they sold it to George H. Heideman.



1314 Lincolnway East (non-contributing)

Constructed circa 1905 by David Fisher, a contractor and builder. Mr. Fisher died in 1910 leaving the house to his wife, Wilhelmina, and their children. The heirs sold the house in 1912 to Arthur T. Cook, who lived there until 1917 when he sold it to August & Ella Landgraf.



1318 Lincolnway East (non-contributing)

Built in 1916 by Arthur J. Austin, a milk dealer, to be used as a rental property. The first tenant was Dr. J.F. Olney, who was in charge of food and dairy inspection. He left after a few years and Harmon & Carrie Topper moved in. They stayed until 1943.



1322 Lincolnway East (non-contributing)

Built in 1905 by Arthur J. Austin, a milk dealer. In 1916 he constructed a rental house next door at 1318 Lincolnway East. Mr. Austin lived in the house until his death in 1925, leaving it to his wife, Louise. Mrs. Austin continued to live in 1322 LWE and rented out 1318 Lincolnway East until her death in 1935.

1326-1330 Lincolnway East (non-contributing)

Harvey M. Kinzie bought the property in 1914 and began immediate construction of a floral shop and greenhouse, which were finished in 1926. He built this house, located on the north east section of the lot, next to the floral shop in 1917. After the completion of the shop Mr. Kinzie took on a partner, Charles H. Osborne, to whom he sold the business in 1950.



1334 Lincolnway East (contributing)

Constructed in 1895 by David Fisher, a building contractor who sold the house to Elias F. Good in 1898. Mr. Good was born in Pennsylvania in 1846. He came to South Bend in 1898 to be the manager of the Studebaker's farms.



1342 Lincolnway East (significant)

Built in 1895 by David Fisher, a building contractor, as a rental. Mr. Fisher died in 1910 and left the house to his wife, Wilhelmina. Mrs. Fisher sold the house in 1918 to carpenter Emil Wedel and his wife, Ella. They lived in the house until 1949 when it was sold to John and Luella Paskewitz.



1346 Lincolnway East (contributing)

Built in 1900 by Arthur Austin, a milk dealer and rental property owner. Mr. Austin was a member of one of St. Joseph County's pioneer families. He sold the house in 1905 to E.F. & Elizabeth Good who rented it to their son, Walter, in 1906.



1352 Lincolnway East (non-contributing)

Constructed in 1910 by Harvey M. Kinzie, a real estate developer and owner of a nearby flower shop and greenhouse. He rented the house out until 1916 when he sold it to Daniel Smith. Mr. Smith was a bricklayer. He and his wife lived in the house until 1940 when it was sold to Charles Taylor, president of Taylor Construction Company.



1402-1404 Lincolnway East (contributing)

The earliest known owners of this house were Eva & Carl Beal. Mr. Beal was the manager of Ludwig Auto Supply Company. He and his wife lived in 1404 and rented out 1402. In 1930, Mr. Beal signed over part ownership to Alta Ludwig, owner of Ludwig Auto Supply.





1521 Ottawa Court (non-contributing)

Built in 1902 by Frederick Neaderhouse and sold to William C. Lehman, a letter carrier for the South Bend Post Office, and his brother-in-law. Mr. Lehman rented the house out until 1905 when he sold it to Harvey M. Kinzie and Elias Good, two real estate developers. They continued to use the house as a rental until 1921 when it was sold to Aude Boyer.



1520-1522 Ottawa Court (non-contributing)

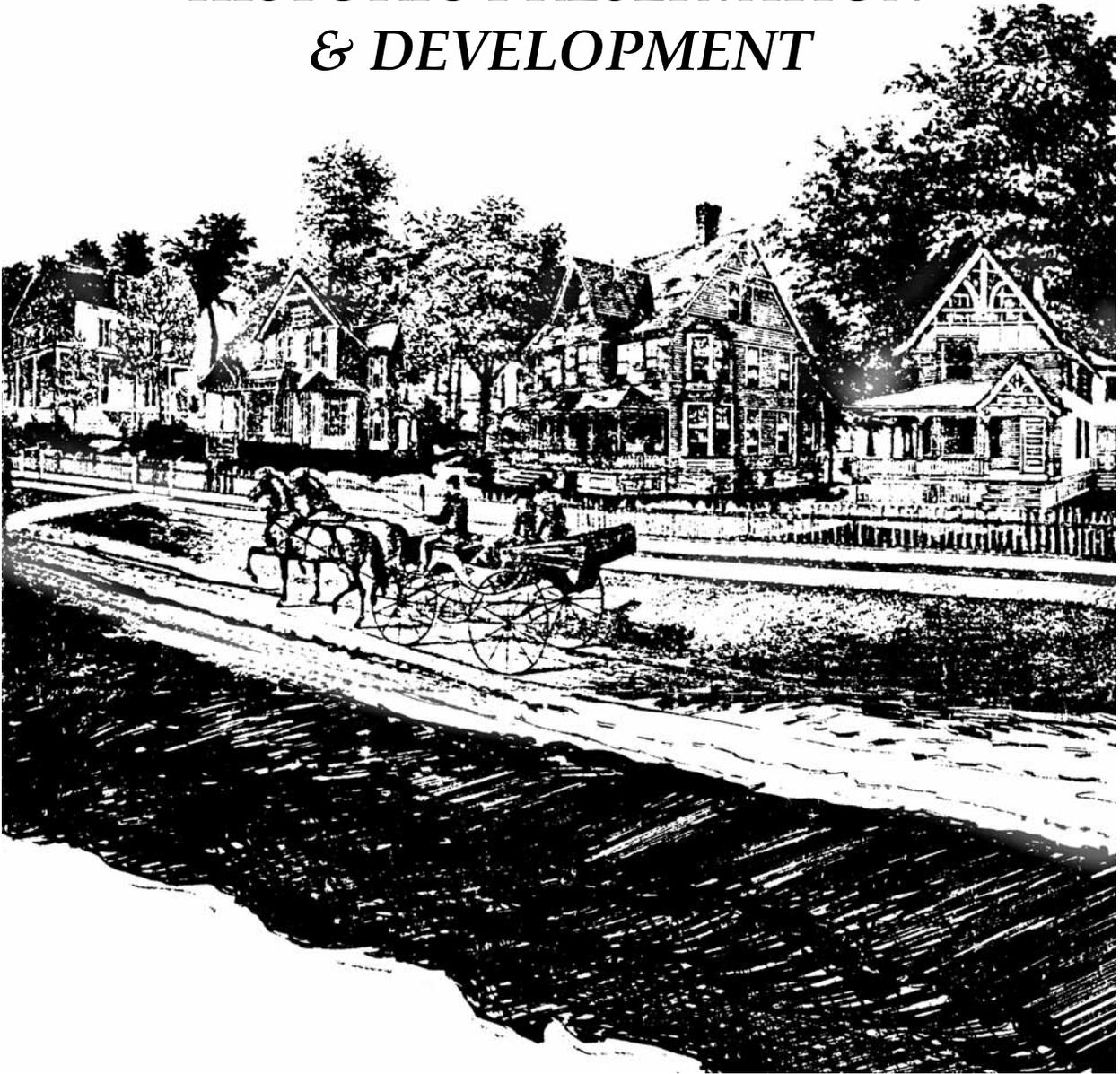
Mr. Eli Gable, a carpenter, built this duplex in 1910 and sold it to Rollo E. Bunch a year later. Mr. Bunch was a salesman for Spiro's. He owned the house until 1919 when it was sold to John Raab.



1311 Prinz (contributing)

Built in 1903 by Charles F. Post, Jr., a salesman for Gulf States Paper Company. Mr. Post rented the house out until 1906 when he sold it to Harry C. Dangler, who sold it a year later to Laura Beers and Mary DeFreese. They divided the lot and sold the house to David Fisher, a building contractor and nearby property owner.

GUIDELINES FOR HISTORIC PRESERVATION & DEVELOPMENT



The Lincolnway East Local Historic District was established by an ordinance enacted by the Common Council of the City of South Bend in 1984 for the protection of the historic character of the neighborhood. Under the requirements of this ordinance, a Certificate of Appropriateness (CoA) is required for any activity in the district which requires a building permit or which alters the appearance of a building or site. Painting of previously painted surfaces is released from this requirement and requires no approval. Consideration by the Historic Preservation Commission of proposed repairs or alterations is guided by the following set of guidelines which have been developed in cooperation with neighborhood representatives and have been adopted by referendum of the district property owners.

General Definitions

(A) PRESERVATION

Defined in these guidelines as the act or process of applying measures to maintain or restore the form, integrity and materials of a building, structure or site in its existing or original condition. It can include stabilization work, restoration or rehabilitation work, ongoing maintenance and/or prevention of demolition.

(B) PRESERVATION GUIDELINES

An outline of requirements and recommendations which are used as guides in the determination of appropriateness of proposed work within an Historic District.

The Historic Preservation Commission has established three sets of guidelines – Restoration, Rehabilitation and Conservation. One of these is selected by each Local Historic District at the time of implementation. This selection is based on the quality and integrity of the architecture and environment of the District, and upon the goals of the neighborhood organization.



Note: The Guidelines selected by the Lincolnway East Local Historic District are
(b2) - Rehabilitation.

The preservation guidelines are defined as follows:

(b1) Restoration

Maintaining the original or unimpaired character of the District as it was at the time of construction. Any restoration done must return the structure to its original state. Authenticity of a restoration would require the removal of incompatible exterior elements and the replacement of all damaged or deteriorated elements with replicas of the same design and materials. New construction shall conform to the guidelines for defined elements of preservation regarding height, proportion and building materials. A Certificate of Appropriateness (CoA) applicant shall be responsible for documenting the authenticity of the proposed work to the satisfaction of the commission.

(b2) Rehabilitation

Maintaining the existing character of the District, and whenever possible returning it to its original condition. Any rehabilitation would not require the removal of all non-original materials but would encourage the removal of all such materials which are incompatible with the defined elements of preservation for the District. The design of new construction or alteration would not require the duplication of the original

design and construction, but should be compatible with the existing structures and the District's defined elements of preservation. The use of original materials or construction techniques would be encouraged, but contemporary methods and materials would be acceptable when compatible.

(b3) Conservation

Maintaining a District in its existing condition by placing guidelines on new construction, and limiting demolition and moving. The use of contemporary methods or materials would be acceptable if they are compatible with the defined elements of preservation for the District.

(C) ELEMENTS OF PRESERVATION

Defined as specific areas of preservation covered within the guidelines. The elements to be defined for each Historic District, with the exception of those with Conservation guidelines, are as follows:

I. Environment

- A. The District Environment
- B. The Building Site and Landscaping

II. Existing Structures

- A. Building Materials
- B. Roofs and Roofing
- C. Windows and Doors
- D. Entrances, Porches and Steps

III. New Construction

- A. Height and Proportion
- B. Building Materials

IV. Safety and Building Codes

- A. Building Code Requirements
- B. Access for Handicapped or Disabled Persons

V. General

(D) GUIDELINE COMPONENTS

Statements within the guidelines which specify the requirements and recommendations for the preservation of the characteristic relationships of the various features which are of significance to the appearance of the Local Historic District.

"Shall" is defined as an expression of something that is mandatory or must be done. "Should" is defined as an expression of obligation, something that ought to be done but that is open to compromise.

(E) GUIDELINE CATEGORIES

Guidelines for the District will address each of the Elements of Preservation individually within four divisions of classification. At the time of implementation of an Historic District, the commission will work with the respective neighborhood association to select the desired category of placement for each of the Guideline Components. These categories are as follows:

(e1) Required

Defined as work which shall be done in a restoration or rehabilitation project in order to restore or maintain the original or existing character of the structure or site.

(e2) Recommended

Defined as work which should be done to help restore or maintain the original or existing character of the structure or site.

(e3) Prohibited

Defined as work which shall not be permitted in a restoration or rehabilitation project because it may have a negative impact on the original or existing character of the structure or site.

(e4) Not Recommended

Defined as work which should not be undertaken in a restoration or rehabilitation project because it may have a negative impact on the original or existing character of the structure or site.

Lincolnway East Local Historic District Guidelines

I. THE ENVIRONMENT

A. THE DISTRICT ENVIRONMENT

The district, which is characterized by its proximity to the St. Joseph River, lies southeast of downtown South Bend. It consists of a three-block area fronted by Lincolnway East (U.S. 33) and the river on the north and the Conrail tracks on the south. The majority of the buildings face Lincolnway East although there are a few structures on two of the side streets, Ottawa Court and Leer Street, one facing the alley near the railroad tracks, and a few carriage houses, sheds, barns and garages behind the houses on Lincolnway.

Required

Distinctive existing features such as parks, gardens, streetlights, fences, signs, benches, walkways, streets, alleys and building setbacks shall be retained. New plant materials, fencing, walkways, streetlights, signs and benches shall be compatible with the character of the neighborhood in size, scale, material and color. The riverfront neighborhood character of the District shall be retained.

Recommended

Whenever possible, the original features should be restored. Plant materials and trees in close proximity to buildings, sidewalks or streets that are causing deterioration to those elements should be removed. If erosion control efforts become necessary to preserve the riverbank, they should involve processes and materials consistent with the natural beauty of the banks. The development of boat-landings, access points, scenic overlooks or terraces should be done in such a way as to avoid obstructing the view of the river and its banks (refer to Appendix A). When new streetlights are installed, an effort should be made to use reproduction, turn-of-the-century lights.

Prohibited

Existing relationships of buildings and their environments shall not be destroyed through widening existing streets, changing paving material or by introducing inappropriately located new streets or parking lots incompatible with the character of the neighborhood. Signs, streetlighting, benches, new plant materials, fencing, walkways and paving materials which are out of scale or inappropriate to the neighborhood may not be used. The erection of high walls or barriers which would alter the relationship of the houses and the river shall be prohibited. In erosion control efforts to preserve the riverbank, poured concrete, concrete slabs, concrete building blocks or other unsightly material shall not be used.

Not Recommended

Telephone poles with high intensity overhead lights should not be used.

B. BUILDING SITE, LANDSCAPING AND ACCESSORIES

Individual properties in the district are characterized by a house located in the center of a long, narrow lot which extends from Lincolnway to the alley just north of the railroad tracks. The front yards, most of which have sloping embankments to the sidewalk along Lincolnway, are divided by concrete sidewalks to the front porches. A few of the properties have gravel driveways, while most are concrete and some are shared driveways between two lots. All of the properties have trees, many have trimmed shrubbery and hedges. All of the houses conform to a uniform setback line; the buildings in the 1300 block angle to conform to the curve in the street.

Required

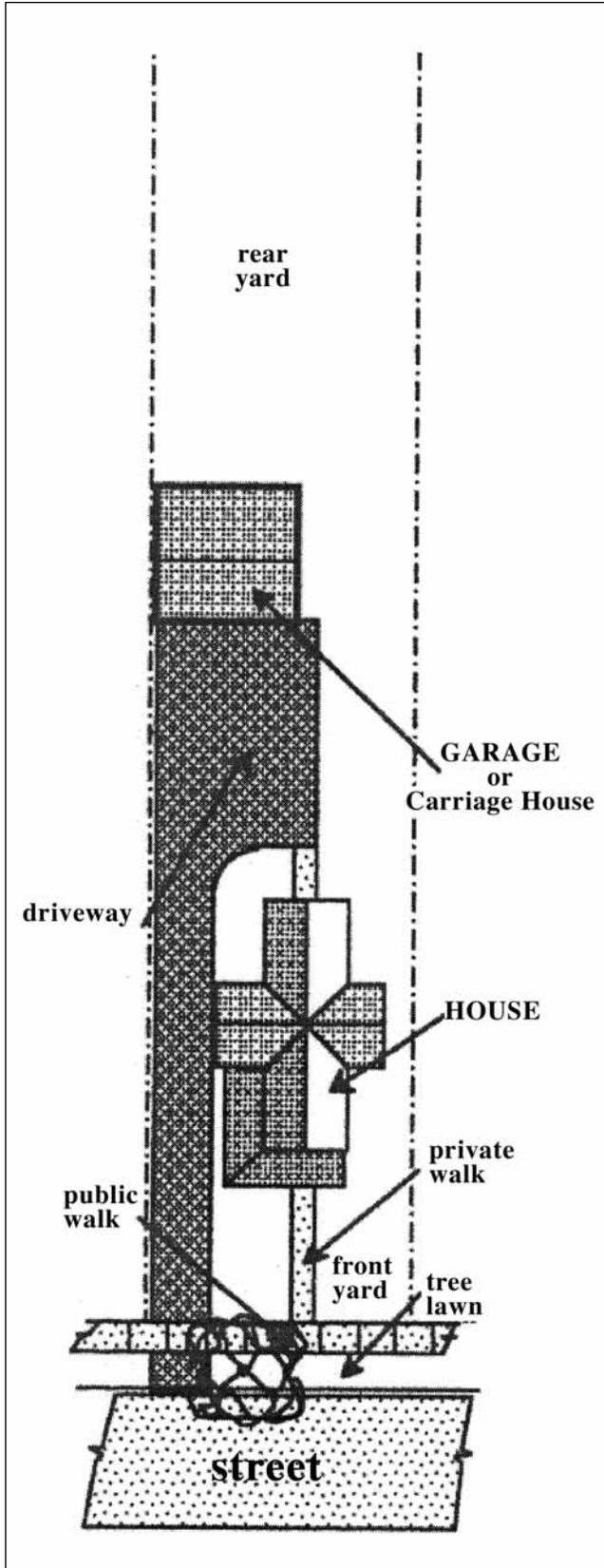
Existing plants, trees, fencing, walkways, streetlights, signs and benches which reflect the properties' history and development shall be retained.

Recommended

New site work should be based upon actual knowledge of the past appearance of the property found in photographs, drawings and newspapers. New site work should be appropriate to existing surrounding site elements in scale, type and appearance. Plant materials in close proximity to the building that are causing deterioration to the building's historic fabric should be removed.

Prohibited

No changes may be made to the appearance of the site by removing old plants, trees, fencing, walkways, outbuildings and other elements before evaluating their importance to the property's history and development. Front yard areas shall not be transformed into parking lots, paved, blacktopped or fenced.



TYPICAL SITE PLAN

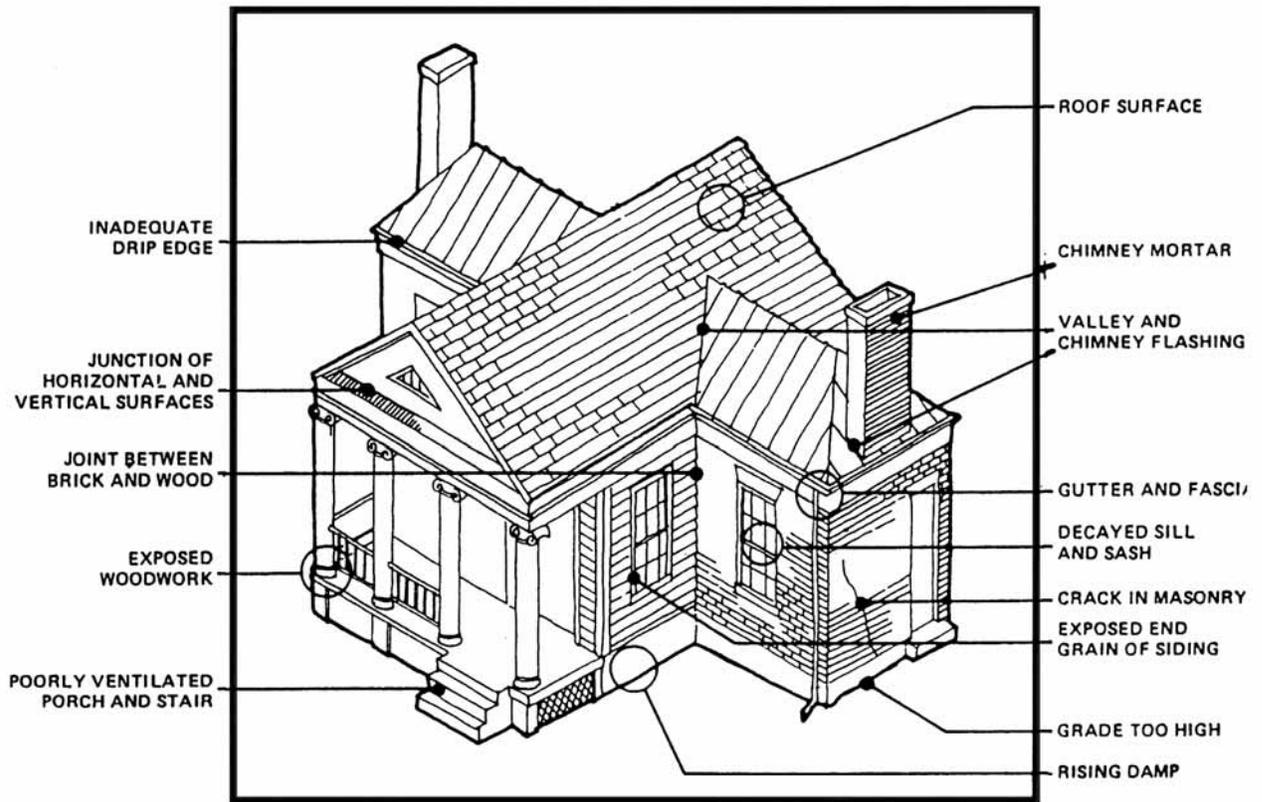


Figure 2: POTENTIAL AREAS OF DECAY

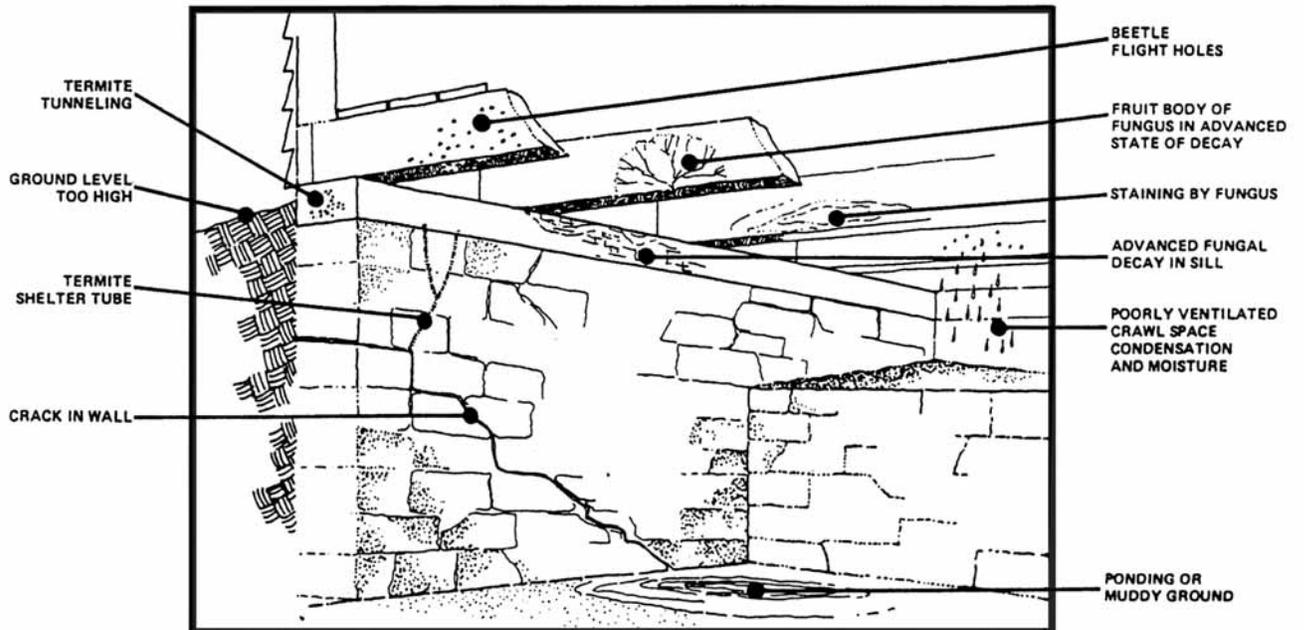


Figure 3: COMMON PROBLEMS IN THE BASEMENT

II. EXISTING STRUCTURES

A. BUILDING MATERIALS

Wall materials in the District range from brick, clapboard, decorative shingles and asphalt and asbestos siding to aluminum siding. In the majority of cases the aluminum siding has been applied over the original clapboard.

Required

Original exterior building materials shall be retained. Deterioration of wood materials shall be prevented through repair, cleaning and painting. The existing or original architectural detail around windows, porches, doors and eaves should be retained or replaced by replicas of the same design and materials when deteriorated beyond repair. Masonry structures shall be maintained, repointed and properly cleaned when necessary. Masonry shall be cleaned only when necessary to halt deterioration or to remove stains and shall be done with the gentlest method possible, such as low pressure water and soft natural bristle brushes. No chemicals, sandblasting or other invasive methods may be used to clean historic buildings. Stucco surfaces shall be maintained by cleaning and repainting when necessary. When repairing stucco, a stucco mixture shall be used.

Recommended

Whenever possible, the original building materials should be restored. Aluminum or vinyl siding may be used when it is the only feasible alternative to maintaining the original surface material. When used on wood surfaces, this siding should be the same size and style as the original wood. However, it must be noted that such material can contribute to the deterioration of the structure from moisture and insects. Mortar joints should be repointed only when there is evidence of moisture problems or when sufficient mortar is missing to allow water to stand in the mortar joint. Existing mortar shall be duplicated in composition, color, texture, joint size, method of application and joint profile. It is emphasized that, prior to initiating any restoration or rehabilitation effort, the property owner contact the Historic Preservation Commission of South Bend & St. Joseph County at 125 Lafayette, South Bend. The Commission is an invaluable source of information about all facets of rehabilitation and restoration.

a. Typical wood frame wall where moist inside air freely migrates to the outside. Moisture may condense in the wall cavity and be absorbed into the adjacent materials and evaporate as the wall is heated by the sun.

b. Typical wall condition with insulation and a vapor barrier facing in (toward the heated side of the wall). The vapor barrier prevents moisture migration, thus keeping the insulation dry.

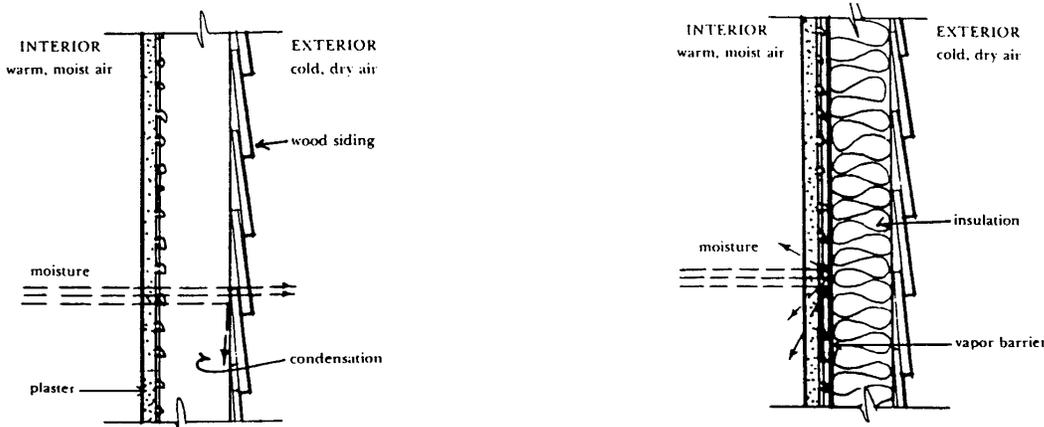


Figure 4: Moisture Evacuation Without and With Insulation.

Prohibited

Wood siding shall not be resurfaced with new material which is inappropriate or was unavailable when the building was constructed, such as artificial stone, brick veneer, asbestos or asphalt shingles. Sandblasting or the use of harsh detergents shall not be used on masonry or stucco. This method of cleaning erodes the surface material and accelerates deterioration.

Not Recommended

Waterproof or water repellent coatings or surface consolidation treatments should not be used unless required to solve a specific problem that has been studied and identified. Coatings are frequently unnecessary, expensive and can accelerate deterioration of the masonry. Mortar joints which do not need repointing should not be. Repointing should not be

done with mortar of high Portland cement content, which can often create a bond that is stronger than the building materials. This can cause deterioration as a result of differing coefficient of expansion and the differing porosity of the material and the mortar because they can cause serious damage to adjacent brick. Paint should not be removed from masonry surfaces indiscriminately.

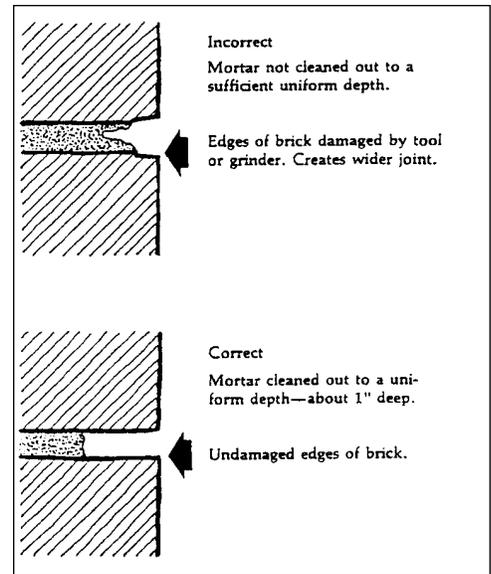


Figure 5. Comparison of incorrect and correct preparation of mortar joints for repointing.

Drawing: Robert C. Mack and David W. Look.

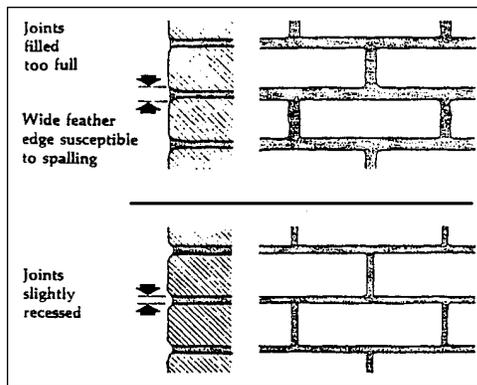


Figure 6. Comparison of visual effect of full mortar joints vs. slightly recessed joints. Filling joints too full hides the actual joint thickness and changes the character of the original brickwork.

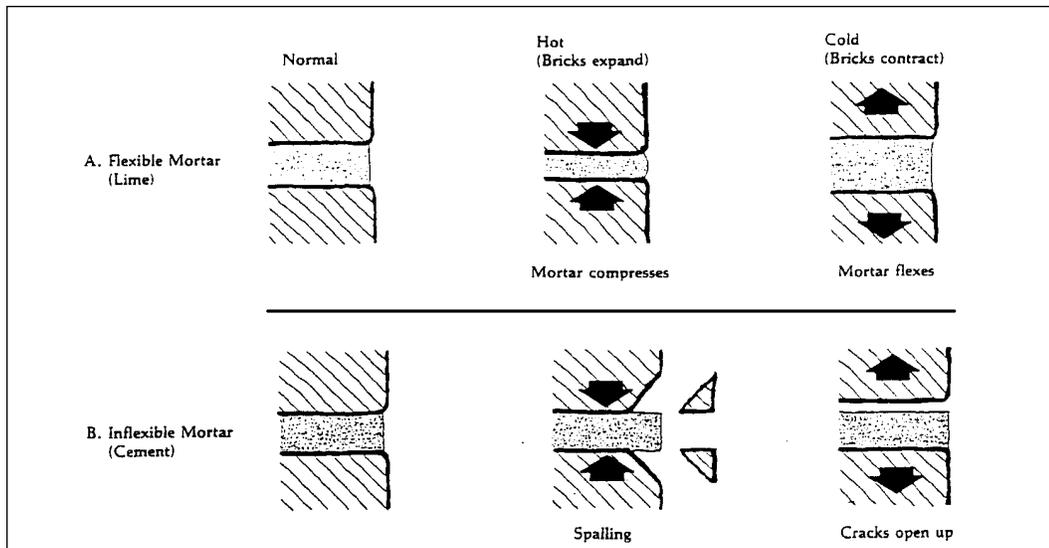


Figure 7. Diagrammatic sketches showing effects of temperature change upon masonry. Flexible mortar (A) expands and contracts with temperature changes. Bricks bonded by inflexible mortar (B) tend to spall at the edges (the area of greatest stress) in hot weather and separate from the mortar when it is cold. This latter condition opens cracks, permitting the entry of water and causing additional deterioration. Adapted from "Maintenance of Old Buildings." Document D10: National Swedish Institute for Building Research, Stockholm, 1975.

B. ROOFS AND ROOFING

Roof shapes in the district include hip and gable types. All are covered with asphalt shingles. Eaves, in most cases, have wood fascias with gutters and downspouts. Some aluminum-sided houses have aluminum-covered fascias.

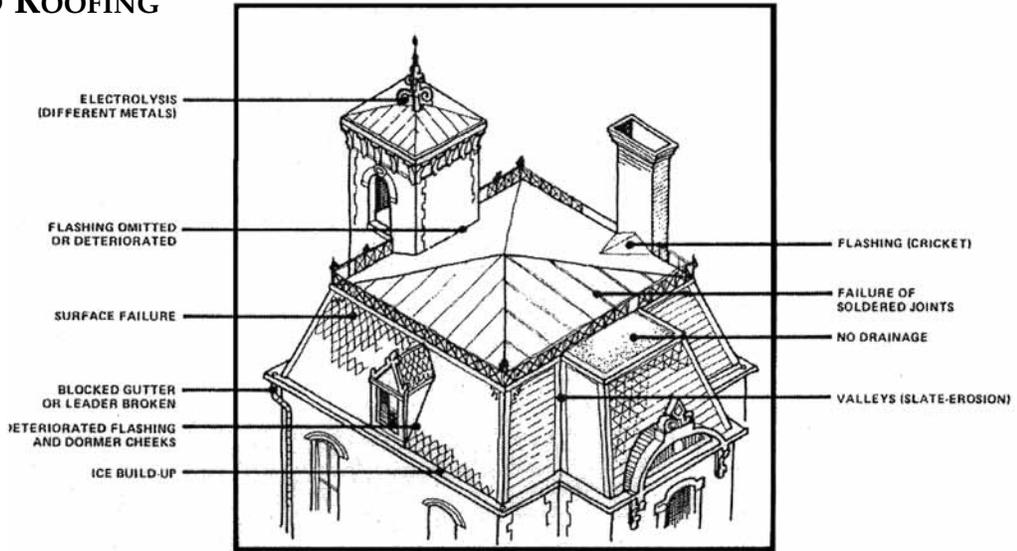


Figure 8: ROOF PROBLEM AREAS

Required

The existing shape and materials of the roof shall be retained. All architectural features which give the roof its essential character shall be retained, including dormer windows, cupolas, cornices, brackets, chimneys, cresting and weather vanes.

Recommended

Whenever possible, the original shape and materials of the roof should be restored. Particular effort should be made to retain unique materials not commonly found in new construction. Roof covering which is deteriorated beyond repair should be replaced with new material that matches as closely as possible the existing or original in composition, size, shape, color and texture.

Prohibited

Nothing shall be done to change the essential character of the roof by adding architectural features or roofing materials inappropriate to the style of the house. The roof shall not be stripped of architectural features important to its character.

Not Recommended

Overhanging eaves, soffits, brackets and gables should not be covered or enclosed when adding metal or vinyl siding to a building.

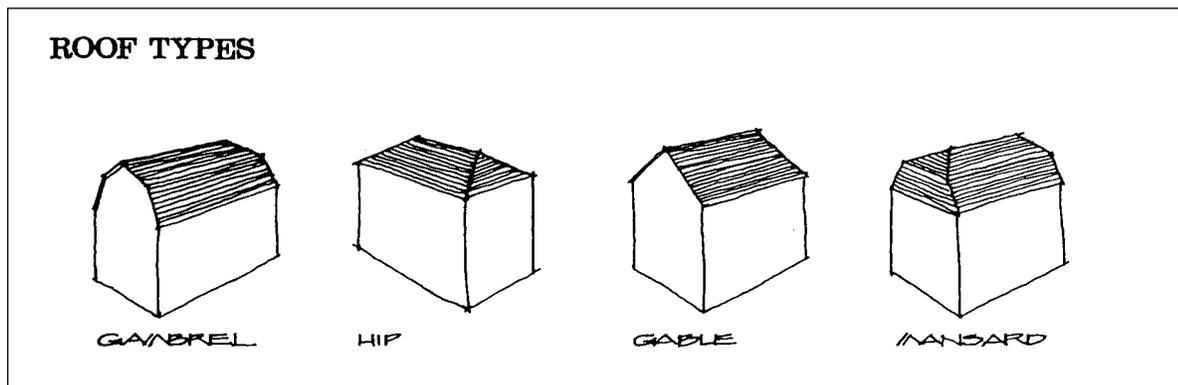


Figure 9: Roof Types

C. WINDOWS AND DOORS

Window and door frames, in nearly all cases, are wood. Brick structures often have stone sills and brick lintels. Where metal or vinyl siding has been applied, window trim has been covered. Storm windows are of wood or aluminum. Windows are typically wood double-hung or metal casements.

Required

Existing or original windows and doors shall be retained including sashes, lintels, sills, shutters, decorative glass, pediments, hoods and hardware. When deteriorated beyond repair, they shall be replaced with units and trim resembling the original or existing.

Recommended

Wood frame storm windows and doors painted to match the original should be used but should not damage existing frames and should be removable. If new sashes or doors are installed, the existing or original materials, design and hardware should be used. When metal storm windows and doors are used, they should be painted, anodized or coated to match the existing. When awnings are used they should be of canvas material.

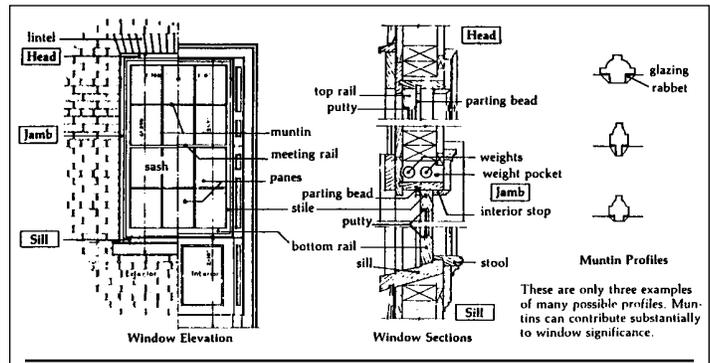


Figure 10: Window Components

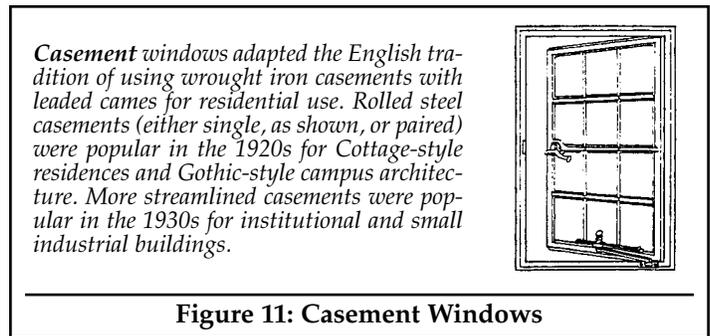


Figure 11: Casement Windows

<p>Spring-metal EXTERIOR</p>	<p>Spring-metal comes in bronze, brass or stainless steel with an integral friction-fit clip. The weatherstripping is applied after the repaired windows are painted to avoid galvanic corrosion. This type of thin weatherstripping is intended for windows in good condition.</p>
<p>Vinyl Strips EXTERIOR</p>	<p>Vinyl strips are scored and folded into a "V" configuration. Applied adhesive is necessary which will increase the thickness of the weatherstripping, making it inappropriate for some situations. The weatherstripping is generally applied to the window after painting.</p>
<p>Foam Tape EXTERIOR</p>	<p>Closed cell foam tape comes either with or without an adhesive backing. It is effective for windows with a gap of approximately 1/4" and is easy to install. However, this type of weatherstripping will need frequent replacement on windows in regular use. The metal sections should be cleaned of all dirt and grease prior to its application.</p>
<p>Sealant Bead EXTERIOR</p>	<p>This very effective type of weatherstripping involves the application of a clean bead of firm-setting caulk on the primed frame with a polyethylene bond breaker tape on the operable sash. The window is then closed until the bead has set and takes the form of the gap. The sash is then opened and the tape is removed leaving the set caulk as the weatherstripping.</p>

Figure 12. Appropriate types of weatherstripping for metal windows.

Weatherstripping is an important part of upgrading the thermal efficiency of historic steel windows.

The chart at right shows the jamb section of the window with the weatherstripping in place.

Drawings:
Sharon C. Park, AIA

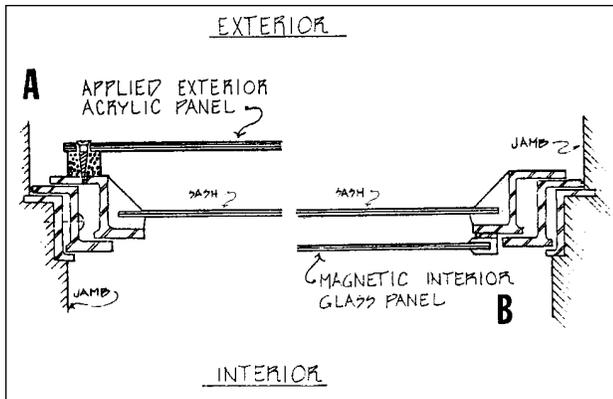


Figure 13. Two examples of adding a second layer of glazing in order to improve the thermal performance of historic steel windows. Scheme A (showing jamb detail) is of a 1/4 inch acrylic panel with a closed-cell foam gasket attached directly to the exterior of the outwardly opening sash with self-tapping stainless steel screws. Scheme B (showing jamb detail) is of a glass panel in a magnetized frame affixed directly to the interior of the historic steel sash. The choice of using glass or acrylic mounted on the inside or outside will depend on the ability of the window to tolerate additional weight, the location and size of the window, the cost, and the long-term maintenance outlook.

Drawing: Sharon C. Park, AIA

roof. Some porches are integrated under the main roof of the house. Columns, brick piers with colonettes or tapered posts, brick piers with concrete caps or turned spindels support the porch roofs. A few bungalows have fieldstone porch elements. Porch details are unique to and help define the style and character of each house.

Required

Existing or original porches, stoops, patios and steps, including handrails, balusters, columns, brackets, tiles and roof decorations, shall be retained or replaced by replicas of the same design and materials when deteriorated beyond repair. Porches and additions reflecting later architectural styles and which are important to the building’s historical integrity shall be retained.

Recommended

When enclosing porches for heat conservation or other reasons, it should be done in a manner that does not alter the architectural or historical character of the building.

Prohibited

Porches, stoops, patios and steps that are important to the building’s style and character shall not be altered or removed.

Not Recommended

Original porch details should not be replaced with materials representing a different period or style from the original.

Prohibited

Original doors, windows and hardware shall not be discarded when they can be restored and re-used in place. New window and door openings which would alter the scale and proportion of the building shall not be introduced. Inappropriate new window and door features such as aluminum insulating glass combinations that require the removal of the original windows and doors shall not be installed.

Not Recommended

Awnings, hoods and fake shutters made of metal, vinyl or fiberglass should not be used if they would detract from the existing character or appearance of the building.

D. ENTRANCES, PORCHES AND STEPS

Most houses in the District have unenclosed porches across the front of the house or to the side. Stoops and small patios are also present.

Many houses have porches with a hip or gable

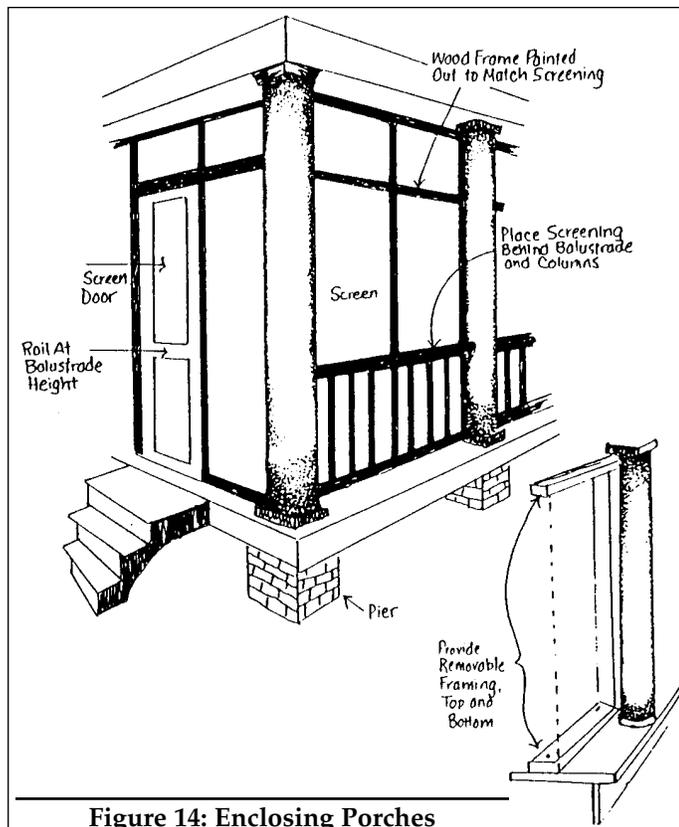


Figure 14: Enclosing Porches

E. MECHANICAL SYSTEMS

The majority of the structures within the District have oil or gas heat, and have brick chimneys through the roof. Some houses have one or two window air conditioners.

Required

Mechanical systems shall be placed in areas that will result in the least possible alteration to the structural integrity and physical appearance of the building. Solar collectors and TV dishes shall be placed at the rear of the property and shielded by shrubbery and landscaping.

Recommended

Window air conditioners and exhaust fans should be installed at the rear or at an inconspicuous side window. Original lighting fixtures should be retained whenever possible.

Prohibited

Holes shall not be cut through walls or roofs to accommodate air conditioners or other mechanical equipment in areas that can be seen from the street.

Not Recommended

Exterior electrical and telephone cables should not be attached to the principal elevation of the building.

III. NEW CONSTRUCTION

New construction includes any new building or structure constructed within the boundaries of the historic district, or any new addition to an existing building. New construction should be designed considering the appearance of the other buildings in the neighborhood.

A. HEIGHT AND PROPORTION

The majority of structures in the district are two stories in height and are square, rectangular or irregular in plan. There are a few story-and-a-half residences. The prevalent façade proportions are between a 1:1 and a 1:2 height-to-width ratio.

Required

The height of a new structure and its height-to-width proportions shall be consistent with adjacent buildings in the district. The building height shall be no greater than that of the tallest existing structure and no less than that of the lowest existing structure in the same block.

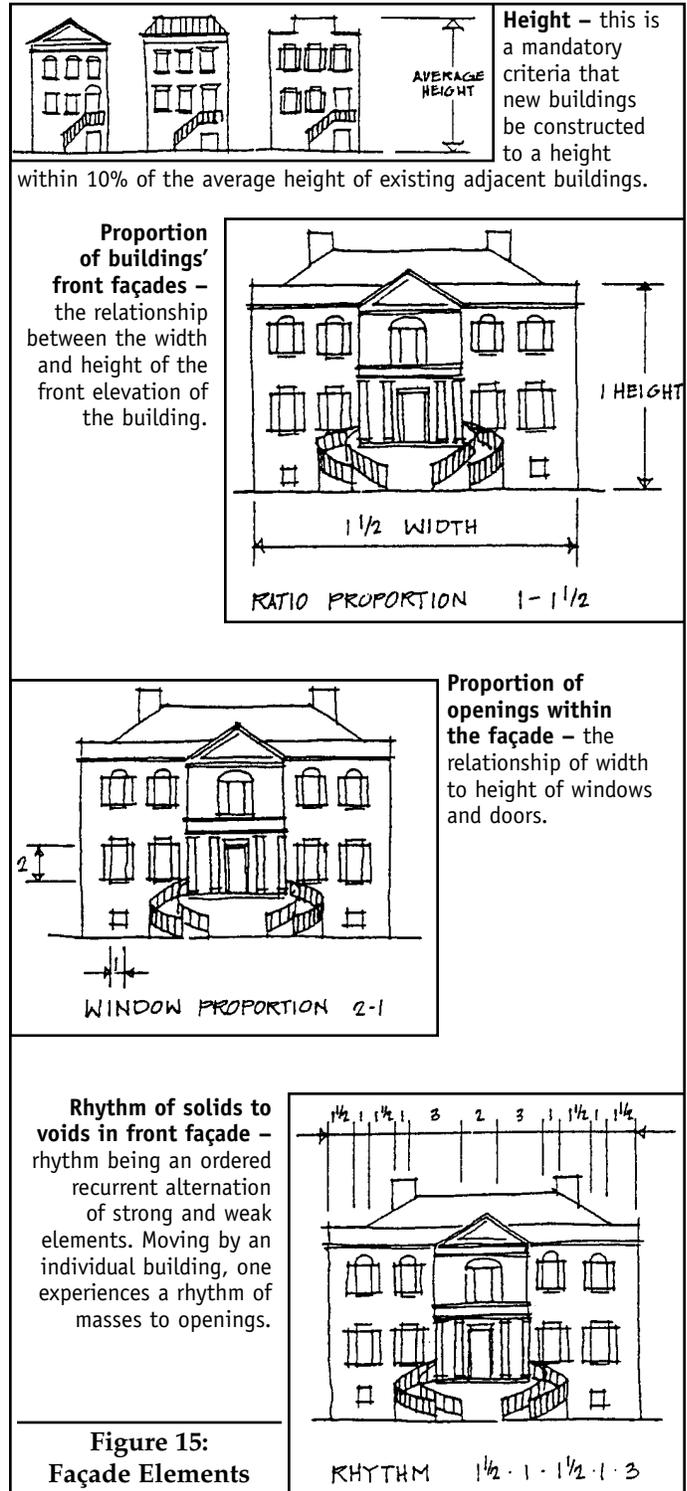


Figure 15:
Façade Elements

Façade proportions shall be established by permitting no structure with a façade wider or narrower than those existing in the same block. Additions to existing buildings shall be related in height and proportion to the existing structure.

Recommended

Contemporary designs should be compatible in height, proportion, character and mood to the building or neighborhood.

Prohibited

Additions that would change the existing façade of a building, alter its scale or architectural character or add new height shall not be constructed.

Not Recommended

New stories should not be added, nor should existing stories be removed which would destroy important architectural details, features or spaces of the building. Any style or period of architecture that is incompatible with the existing building should not be permitted in the new additions.

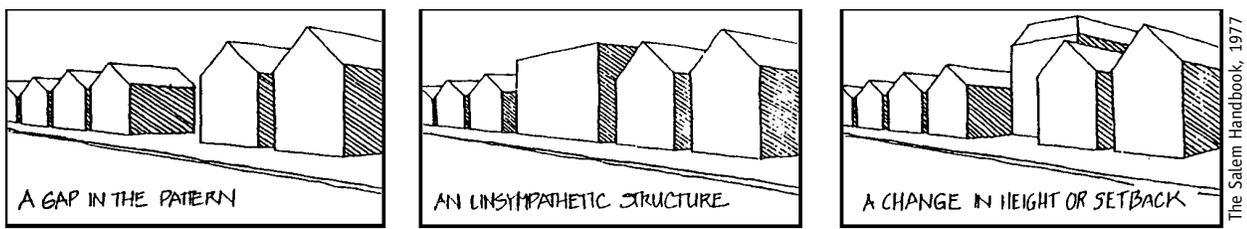


Figure 16: Altered and inappropriate streetscape designs and setbacks.

B. BUILDING MATERIALS

Wall materials in the district include brick, stucco, half-timbering, stone, clapboard, shingle and metal and vinyl siding.

Required

Exterior materials used on a new structure shall be compatible in type, scale, texture and color with adjacent structures. Materials used on an addition to an existing structure shall relate to the existing or original materials of that structure. As much of the original structure as possible shall be retained so that the addition could be removed without damage to the basic structure and appearance of the building.

Recommended

Metal or vinyl siding may be used when it is the only feasible alternative. This siding should be compatible with the original size and style and with the materials of other buildings in the district.

Prohibited

Inappropriate materials such as asbestos, asphalt, cast stone or artificial brick shall not be used.

Not Recommended

Glass blocks should not be used. Concrete block should not be used for anything other than foundations.

C. SHEDS AND ACCESSORY BUILDINGS

Accessory buildings are those structures that serve a specific subordinate function to the residence. These include garages and storage sheds and carriage houses. All of the accessory buildings are located in the rear yard. The carriage houses were designed in an architectural style related to the residence and were constructed at the same time as the residence.

Required

Accessory structures (gazebos, decks, playhouses, children’s play equipment, etc.) shall be located at the rear of the property and as unobtrusively as possible while preserving historic relationships between the buildings, landscape features and open spaces. Proportions and materials shall conform to those required for new construction.

Recommended

Accessory building designs should be compatible in character and mood to the residence and the neighborhood.

Prohibited

Prefabricated metal sheds shall not be used.

Not Recommended

Prefabricated wood composition sheds should not be used unless they conform to all other standards.

IV. SAFETY AND BUILDING CODES

A. BUILDING CODE REQUIREMENTS

Required

Building code requirements shall be complied with in such a manner that the existing character of the building is preserved.

Recommended

Local building code officials should be consulted to investigate alternative life safety measures that will preserve the architectural integrity of the structure. Variances for historic properties should be investigated.

Prohibited

Construction of new stairways and elevators that would alter the existing exits or important architectural features and spaces is prohibited.

Not Recommended

Fire prevention equipment should not damage the appearance or fabric of the building.

B. ACCESS FOR HANDICAPPED OR DISABLED PERSONS

Typical Accessibility Solutions:

Portable or fixed ramp.



Vertical or inclined lift.



Regrade area around entrance.



Install handrails.

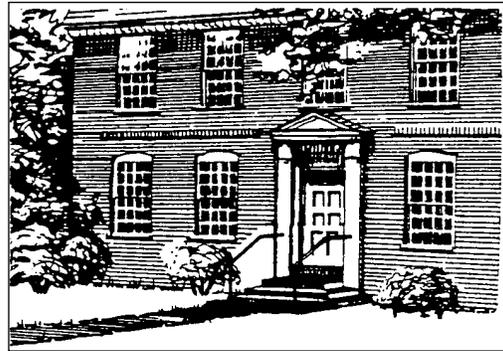


Figure 17: Accessibility Solutions

V. GENERAL

- A. Buildings in the district should not be demolished except where a building poses a threat to the public safety, and demolition is the only alternative. Documentation of interior and exterior features of the original buildings, especially homes rated as historically significant, is encouraged. Measured drawings and photographs may be submitted to the Historic Preservation Commission for safekeeping and future reference.
- B. A Certificate of Appropriateness is required before moving any building or structure. The moving of a building within, out of or into the district is discouraged; however, moving is preferred to demolition. Buildings incompatible with existing structures in the historic district shall be prohibited.
- C. Any rehabilitation work shall not be such as to change a building to a style dated previous to its original style.
- D. In planning rehabilitation projects, an architect or contractor experienced in preservation should be consulted.
- E. There shall be a liaison committee consisting of three (3) property owners in the district. The committee's responsibility will be to work with the residents of the district and the Historic Preservation Commission (See Appendix D).

- F.** All guidelines will be reviewed and updated on the recommendation of the liaison committee, at least every five years.
- G.** In the case of structures located within the district which are designated individually as Landmarks, the most restrictive guidelines shall apply.
- H.** Existing easements and codicils in property owners' abstracts shall remain in effect.

VI. ENFORCEMENT PROCEDURES

Enforcement of the preservation guidelines for the historic district is made possible in the Zoning Ordinance of South Bend, ordinance No. 5565-73. The Historic Preservation Commission shall issue a Certificate of Appropriateness before commencement of any construction, reconstruction, alteration, demolition or moving of any house or structure within the historic district boundaries (see Appendix A). This ordinance, however, does not prevent the ordinary maintenance and repair of any building or structure which does not involve a change in any exterior feature, nor does it prevent the reconstruction, alteration, demolition or moving of any building or structure which the Building Commissioner or other official has determined to be a hazard to public safety.

The Historic Preservation Commission will accept applications for Certificates of Appropriateness only from the property owner. Property owners wishing to do, or have done, any work affecting the exterior of their building or land must apply directly to the Historic Preservation Commission on the form prescribed by the Commission (see Appendix A). The Commission will review the application and either issue a Certificate of Appropriateness or else deny the application, stating in writing the reasons for such denial. Upon such denial, the applicant may appeal to the Common Council.

In making its determination, the Historic Preservation Commission shall consider three factors: first, appropriateness of the proposed work to the preservation of the building and district; second, the detriment to the public welfare if the proposed work is permitted even though it is not deemed appropriate; third, the potential hardship that the denial of the Certificate of Appropriateness would cause the applicant.

Where the Historic Preservation Commission deems it necessary, the commission may petition the Common Council for a temporary delay in the issuance of the required permit(s) for proposed construction, reconstruction, alteration, demolition or moving for the purpose of preparing an historic preservation plan for a building or district. Such a request shall be for a specified period of time. In no case may the delay granted by the Common Council exceed one (1) year, but the commission may petition the Common Council for a continuance of any such delay in accordance with the same procedure as for the initial petition. The Historic Preservation Commission may petition the Building Commissioner to use the legal means available to him/her to force the maintenance and/or repair of any building or structure within the historic district in accordance with the intent of this ordinance.

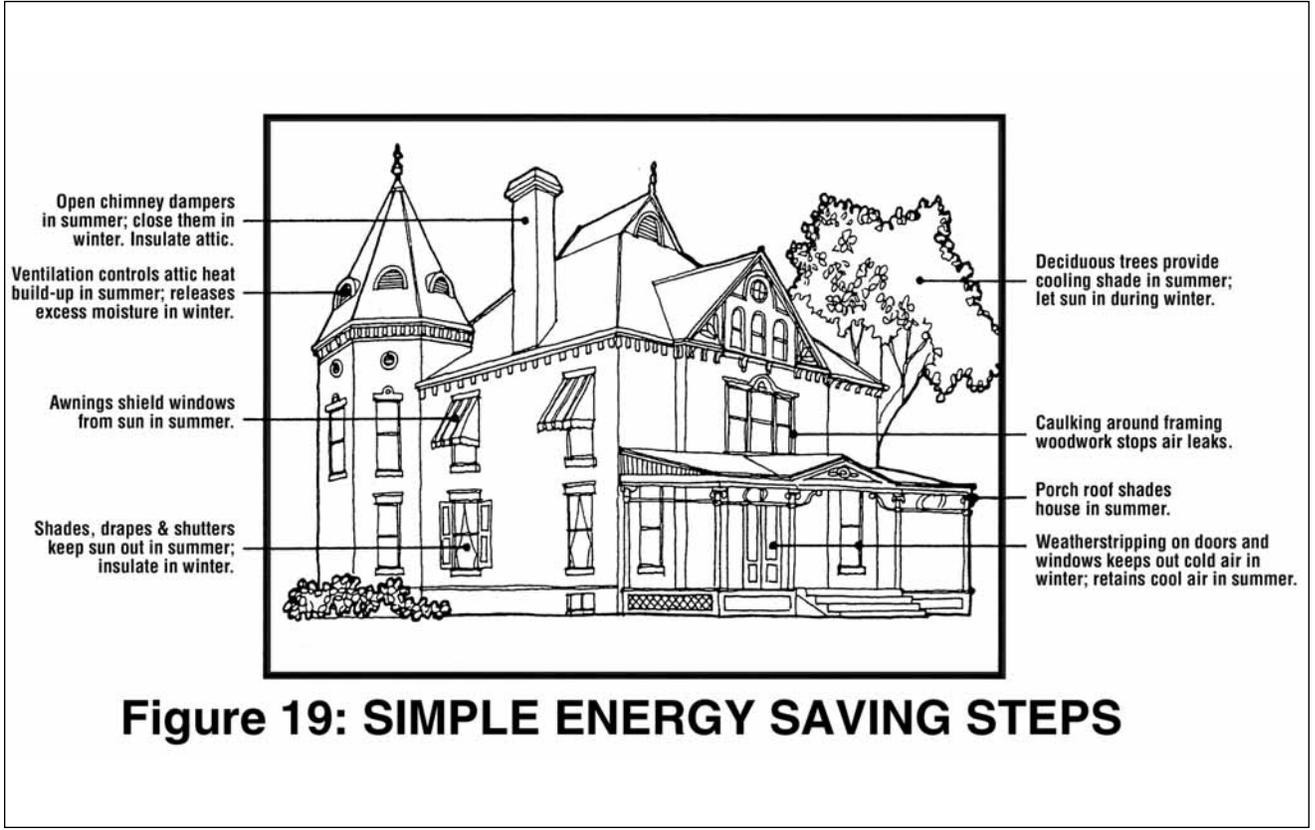
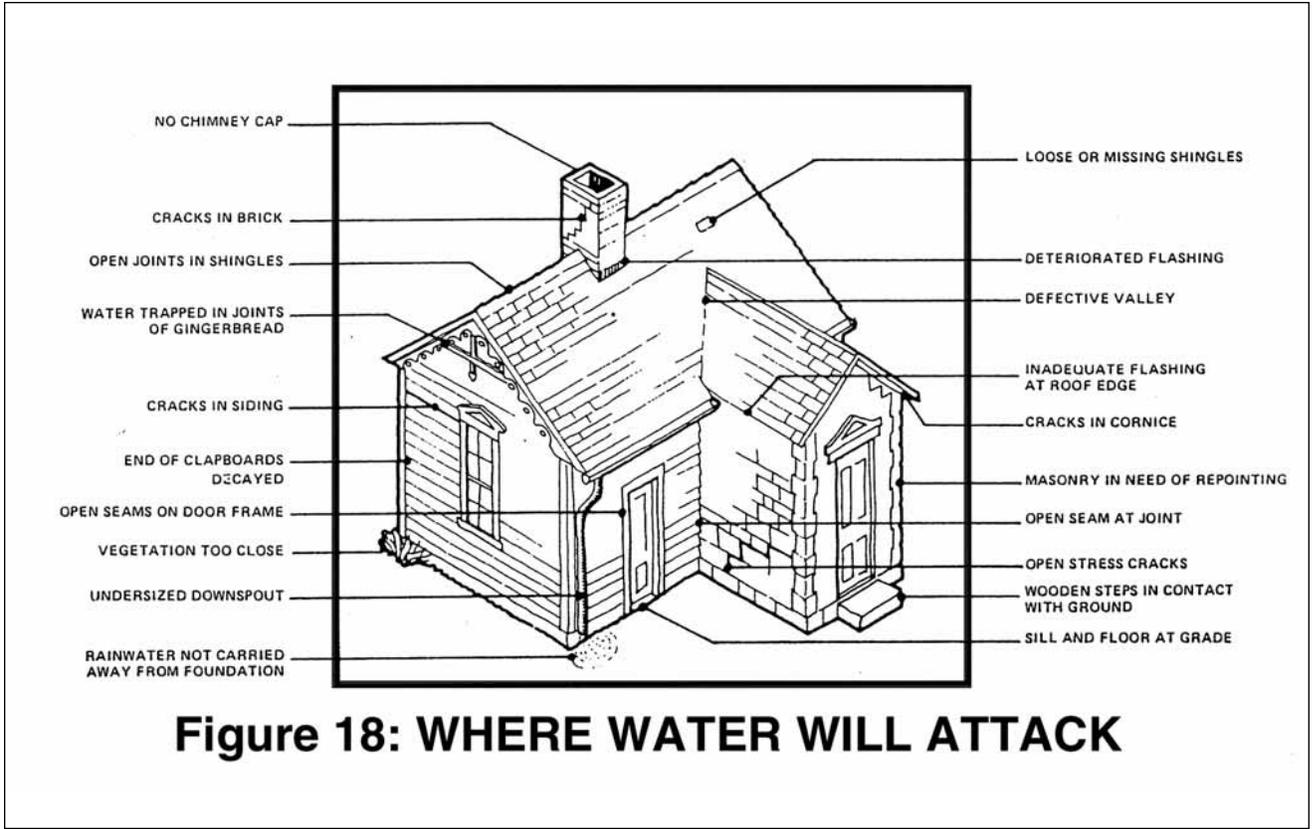
VII. MINIMUM MAINTENANCE STANDARDS

All Landmarks and all contributing structures located in an historic district shall be preserved from decay and deterioration, and shall be maintained in good repair and kept structurally sound. The owner or other person having charge or control of Landmarks and property in an historic district shall not allow or permit deterioration from defects or conditions which, in the judgment of the commission, produce a detrimental effect on the character of the district as a whole or the life and character of the Landmark, structure or property in question, including but not limited to:

- A.** Deterioration of exterior walls or other vertical supports causing conditions such as splitting, leaning, buckling, crumbling, visible cracking or similar conditions;

- B.** Deterioration of roofs and other horizontal members causing conditions such as sagging, splitting, buckling, crumbling, holes, missing shingles or similar conditions;
- C.** Deterioration of external chimneys causing such conditions as listing, settling, bulging, crumbling, holes, loose or missing materials or similar conditions;
- D.** The deterioration or crumbling of exterior plasters or mortar;
- E.** The ineffective waterproofing of exterior walls, roofs and foundations, including broken windows and doors;
- F.** The peeling of paint, rotting, holes and other forms of decay;
- G.** The lack of maintenance of surrounding environments such as fences, gates, sidewalks, steps, signs, accessory structures and landscaping;
- H.** The deterioration of any feature so as to create, or permit the creation of, any hazardous or unsafe condition or conditions.

The commission shall give notice to the owner or person in charge of the structure, by certified or registered mail, of each specific instance of failure to maintain or repair. A copy of such notice shall be sent to the Code Enforcement Department. The owner or person in charge of such structure shall have twenty (20) days to respond in writing by identifying specifically the corrective or remedial steps to be taken. A Certificate of Appropriateness shall not be required for such repair unless such repair results in a change in the design, form, proportion, mass, configuration, building material, texture, color, location or external appearance of any structure or part thereof. In the latter circumstance, a Certificate of Appropriateness shall be required (HPC Policy; adopted 12-16-91).



APPENDICES

Appendix A

Certificate of Appropriateness Procedures

Appendix B

Landscape Assessment Summary

Appendix C

Street Lighting

Appendix D

Historic District Liaison Committee

APPENDIX A

Certificate of Appropriateness Procedures

Any major exterior changes involving architectural treatment, site development requirements or provisions concerning construction, reconstruction, alteration, demolition or removal of any building, structure or parts thereof, shall require a Certificate of Appropriateness.

The procedure to obtain one is as follows:

1. For a project that includes changes to the exterior of a designated property or the surrounding environment, the owner (applicant) must file for a Certificate of Appropriateness (C of A). A project may commence once the Certificate of Appropriateness is approved by the Staff or Historic Preservation Commission (and any other permits required by other departments are obtained).

- a. For all projects, applicants shall apply directly to the Historic Preservation Commission.

- b. For projects requiring a building permit a Certificate of Appropriateness will be required prior to the issuance of this permit.

The applicant is urged to consult with the Historic Preservation Commission prior to filing for a building permit to avoid any inconvenience or unnecessary time delay.

2. A \$5.00 or \$10.00 processing fee is required at the time of the application. A member of the Historic Preservation Commission Staff shall inspect the site and review the project. Proper documentation must be submitted to the Historic Preservation Commission for review. This documentation includes sample materials, product literature, scale drawings, photographs or other materials specifically requested.

- a. If the project is a routine maintenance matter or complies with the established standards and guidelines, Staff may approve the Certificate of Appropriateness.

- b. If the project is not in compliance or needs a variance, the application will be reviewed by the full Historic Preservation Commission.

3. All approved Certificates of Appropriateness will be reported by the Staff to the Historic Preservation Commission at the next appropriate meeting.

4. The Historic Preservation Commission meets the third Monday of the month. A list of the meeting dates may be obtained in the office of the Historic Preservation Commission.

Certificates of Appropriateness must be filed by the designated date prior to the meeting for placement on the agenda (for application deadlines contact HPC Staff). The applicant or designated representative is expected to attend these meetings to answer any questions. A Certificate of Appropriateness application without proper documentation will be tabled until the owner provides the documentation.

5. The Standards and Maintenance Committee will meet as necessary at the request of the Staff or Commission. The applicant will be invited to attend the meeting to present his/her plans. The Committee will review the C of A and make a recommendation to the full Historic Preservation Commission at the next regular Commission meeting.
6. Decisions regarding a Certificate of Appropriateness will be rendered at the next available Historic Preservation Commission meeting.

Denials of Certificates of Appropriateness will be based on the inappropriateness of the project or its possible violation of the Historic District's Standards and Guidelines. The applicant will be informed of specific reasons for denial by letter (with a copy forwarded to the Building Dept.) explaining the action and suggestions for changes. The owner may re-submit his/her application with the suggested changes to the Staff for review at the next meeting. After all proper procedures are exhausted, the applicant does have the right of appeal to the proper council which will make a final determination on the application.



Application

- FOR -

Certificate of Appropriateness

Historic Preservation Commission of South Bend & St. Joseph County
125 S. Lafayette Blvd., South Bend, Indiana 46601

Mailing Address: County-City Building, South Bend, Indiana 46601

Phone: 574-235-9798 • Fax: 574-235-9578 • Email: SBSJCHPC@co.st-joseph.in.us

Website: www.stjosephcountyindiana.com/sjchp/index.html



A Certified Local Government

OFFICE USE ONLY >>>>> DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX >>>>> OFFICE USE ONLY

Date Received _____ Application Number _____ - _____

Past Reviews: YES (Date of Last Review) _____ NO

Staff Approval authorized by: _____ Title: _____

Historic Commission Review Date: _____

Local Landmark Local Historic District (Name) _____

National Landmark National Register District (Name) _____

Certificate of Appropriateness:

Denied Tabled Sent To Committee Approved and Issued _____

DATE

Address of Property for proposed work: _____
Street Number and Street Name

Name of Property Owner(s): (Please Print) _____

Address of Property Owner(s): _____

Contractor(s) Name: _____

Contract Company Name: _____

Contractor Address: _____

City: _____ Phone: _____

Current Use of Building: _____
(Single Family – Multi-Family – Commercial – Government – Industrial – Vacant – etc.)

Type of Building Construction: _____
(Wood Frame – Brick – Stone – Steel – Concrete – Other)

Proposed Work: In-kind Landscape New Replacement (not in-kind) Demolition
(more than one box may be checked)

Description of Proposed Work: _____

Owner/Contractor: Fax: _____ e-mail _____
(This office will correspond with only one designee)

Signature of Owner

and/or

Signature of Contractor

— APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE —

APPLICATION FEE

The following schedule of fees shall apply to any *Application For Certificate Of Appropriateness*:

Staff approval (for in-kind work)	\$ 5.00
OR	
Commission Review (all other proposed work)	\$10.00

Payment must accompany the application at the time of submission. For electronically submitted applications, payment must reach the HPC office within 48 hours following transmission.

An Application that proposes demolition and rebuilding of any structure requires separate applications – one for the demolition and another for the new structure. Each Application requires a \$10.00 fee. **If demolition is not involved, a property owner may include several projects at the same address on a single application with no additional fee.**

REQUIRED DOCUMENTATION AND SITE PLANS

The Historic Preservation Commission of South Bend and St. Joseph County cannot render judgment nor process an Application without specific documentation. Comprehensive documentation protects the owner of the property submitting the application by providing a complete understanding of the project for the commissioners and staff rendering a decision. Problems can occur during a project review or during the execution of the project when one or both parties are unclear as to the specifics. *Applications will NOT be processed without all required fees and documentation.*

When an Application has been scheduled for any meeting where a review and decision are to be rendered, the owner or any architect or contractor(s) retained for the project *must* attend such meetings. *Failure by the owner, architect or contractor to attend such meetings may result in denial of the application due to insufficient presentation.*

Documentation shall include: materials to be used, detailed written description of the project including scale, dimensions, construction methods, finished manufacturers’ brochures and specifications or photographs of the area(s) which the project will affect. When an Application involves new construction, including structures, paths, terraces or fencing, documentation for the Application must include a site plan showing the location and relative size of the proposed new construction.

Demolition applications are a separate issue and require an Application for Demolition.

Photographs may be submitted in digital format compatible with the commission’s operating software, or in any kind of glossy photographic print. any documentation submitted to this office cannot be returned to the applicant.

When a project involves blueprints and/or site plans, two (2) sets should be submitted with the application. Each set will be reviewed page by page, and therefore should carry a stamped date with changes and/or comments indicated on each page. All projects will be inspected during and following execution, for compliance with the decision(s) rendered by the Historic Preservation Commission of South Bend and St. Joseph County.

INSPECTION AUTHORITY

Any work performed on a historic landmark or in an historic district which does not conform to the Certificate of Appropriateness permit, shall be immediately halted by the Historic Preservation Commission and the Building Department of South Bend and St. Joseph County.

INTERGOVERNMENTAL DISCLOSURE

Certificates of Appropriateness will be forwarded to the Building Department of South Bend and St. Joseph County when the applicant also is required to obtain a building permit or other such permit issued by that department. *(The applicant will pick up the permit at that location).* In all other cases, a *copy* of the Certificate may also be sent to the Department of Code Enforcement and the Indiana Department of Historic Preservation and Archaeology. When no building or other permits are required from the Building Department, the Certificate permit will be mailed directly to the applicant.

APPENDIX B

Landscape Assessment Summary

The environment of the Lincolnway East Historic District is greatly influenced by three features: its proximity to the Saint Joseph River - indeed, most of the properties in the district face the river – the location of the Conrail Railroad tracks behind the properties, and the presence of the much traveled Lincolnway East thoroughfare. These three features well define the northern and southern boundaries of the district; however, the eastern and western boundaries are a little more difficult to discern; they are located in the middle of city blocks. The several mature tree specimens are the most significant natural landscape features within the district. There are eight significant individual trees, which include Red Oak (*Quercus rubra*) and White Oak (*Quercus alba*). Although this district has many distinctive features and houses, it lacks the residential ambiance found in some of South Bend's other historic districts.

Lincolnway East is the most disruptive element in the district. Motorists constantly exceed the 35 mile-per-hour speed limit, creating an uninviting environment for pedestrians and residents along the four-lane street. Slowing the traffic would help to reduce the noise and help make the district safer and more friendly. Enforcement of the speed limit with heavy ticketing could help to reduce speeds and, consequentially, noise.

The Conrail Railroad line presents an entirely different noise dilemma. Although the trains are no longer permitted to use whistles, the sound of the trains rolling through the district is very loud. Because the sidewalks are away from the tracks, the trains are not as disturbing as the street noise. Quieting the trains is unrealistic and has not been considered at this time.

The riverbank is another landscape element that could do more for the identity of the district. The weedy growth along the river obstructs visual access to the river and is so solid that it captures the noise created by vehicles traveling on Lincolnway East. Opening views through the vegetation to the opposite riverbank would carry the sight line of a viewer past the street to a more aesthetically pleasing terminus as well as allowing the noise of the traffic to escape. Coupled with enforcement of the speed limit, opening the view to the river could improve visual and auditory comfort levels for pedestrians and residents. The district would feel larger as well. When the visual boundary of a space extends past the physical boundary, the space appears to be larger than it really is. This optical illusion could be used to increase the size of the Lincolnway East Local Historic District.

Currently, the district lacks the ambiance of a residential street. Because of the large number of homes used for office and small business space there is no sense of community. The static, sterile landscapes point to the fact that the structures are not used as homes.

Although there is activity, the absence of the sights and sounds of a neighborhood creates a series of individual spaces rather than a unified whole. Lawn furniture, sand boxes and barbecues have been replaced by parking lots and signage for the businesses. As absurd as it may sound, these are the elements that give the other districts in South Bend a sense of community. These personal items make the areas more inviting and add to their character.

There are a number of Oak trees, White and Red, that are circa 1900. These trees date to the beginning of the district's home construction in the 1890s. The spacing of the trees as well as their form and size lead to the conclusion that these trees are quite possibly original vegetation either spared from removal for construction or established after construction was concluded. In either case the trees are significant and should be protected. In several pictorial essays depicting South Bend at the turn of the century, there is evidence that large trees were not removed before construction. They were saved to provide shade and an interesting appearance to the new homes, which very well may have been the case along Vistula/Lincolnway East.

The Lincolnway East Local Historic District shows distinctive promise for becoming a unified neighborhood that is comfortable and inviting. Slowing the traffic on Lincolnway East and opening views through the vegetation along the riverbank will be the most difficult tasks as well as the most beneficial. Encouraging an interest in community among the residents and property owners throughout the district is another task that would help to develop a more cohesive area. The oak trees are the final elements to be protected and preserved from removal. There are possibilities for Lincolnway East that involve time and money as well as cooperation between city government and property owners. If this is possible, an identity can be defined and enhanced for the district.

**SUGGESTED TREES FOR TREE LAWNS IN
LINCOLNWAY EAST LOCAL HISTORIC DISTRICT**

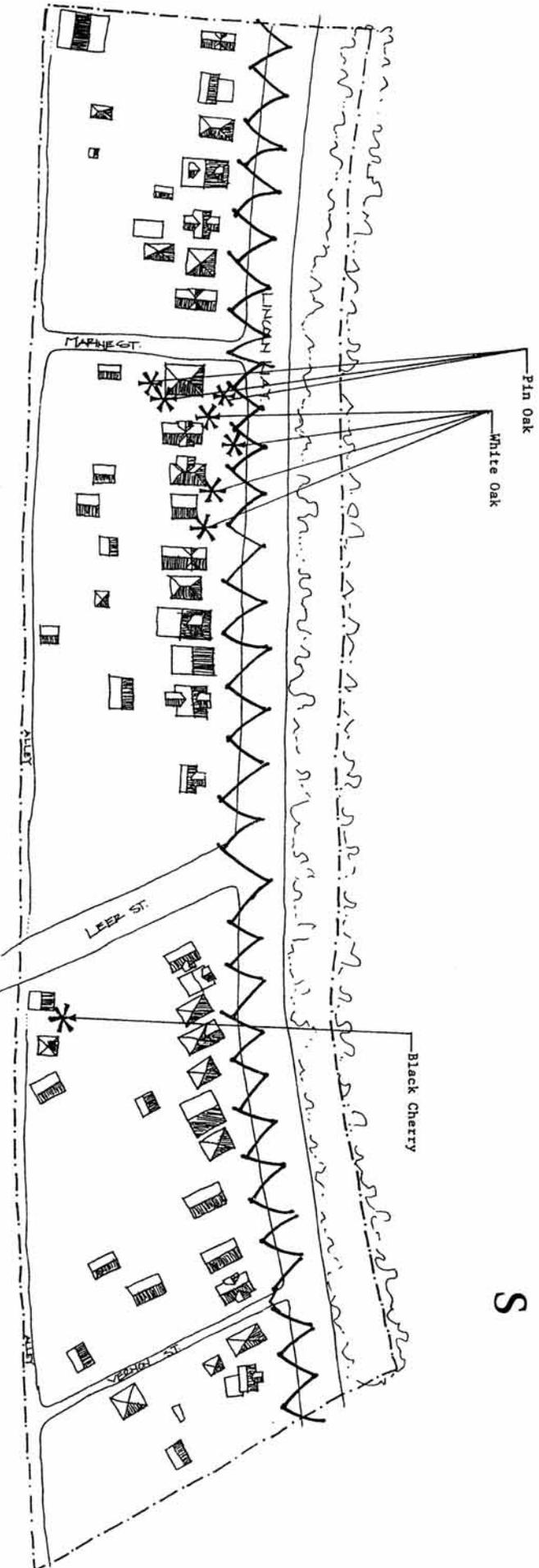
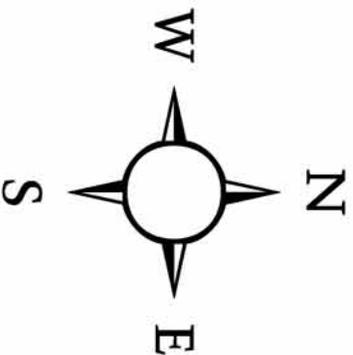
Norway Maple (*Acer platanoides*)
Tuliptree (*Liriodendron tulipifera*)
Littleleaf Linden (*Tilia cordata*)
Pin Oak (*Quercus palustris*)

American Sweetgum
(*Liquidambar styraciflua*)
White Oak (*Quercus alba*)
Red Oak (*Quercus rubra*)

LINCOLNWAY EAST LOCAL HISTORIC DISTRICT

LEGEND

-  Noise Pollution and Exhaust Fumes Trapped by Vegetation on Riverbank
-  Over-Grown Vegetation on Riverbank that should be opened
-  Individual Specimen Trees



NOT TO SCALE

Overall Recommendations for Landscape Preservation in Local Historic Districts

VEGETATION

1. Having a list for each Local Historic District that outlines the species of trees allowed in order to maintain species variety as well as visual continuity. When a resident wants to plant a tree in the tree lawn adjacent to their home the list unique to their district can be presented and they can make an informed decision.
2. Any new construction near existing trees, such as sidewalks or driveways, should not encroach on their roots. Disturbance of the root systems can cause serious damage to and death of the tree.
3. Encourage the use of the botanical or Latin name when specifying which tree is being discussed. This should eliminate any confusion arising from the use of slang terms or common names.
4. Making a permit necessary for the planting of trees. Requiring the type of tree to be specified will enable the database that has been established to be updated with ease and will keep the records current.
5. A record of the trees present and those planted should be kept to ensure a variety of species and thereby avoid a monoculture in any given area. In the future, limits could be set on the number of any one species of tree within each district. This would further eliminate the possibility of a monoculture and insure visual interest in the street tree planted.
6. Significant trees should be removed only in cases of disease or insect infestation, storm damage when public safety is a factor, or when death of the specimen is impending.
7. Any vegetation with thorns or fruit should be restricted to establishment at least 5 feet away from public rights-of-way. Thorns pose an obvious danger, especially when thorny trees are hanging over the sidewalk at eye level. Fruit, such as that of the Flowering Crabapple, can cause a pedestrian to slip, lose their balance and fall.

TOPOGRAPHY

1. Terracing, planting, ornamentation and any other element that disrupts the effect of the elevation change should be prohibited when the topography is designated as a significant landscape element in a district.

The local historic districts fit into an interesting web of activity within the City of South Bend. With the exception of East Wayne Street and Taylor's Field Local Historic Districts, all of the districts have some kind of connection to the water. The river is an important historic landscape element. Historically, the river provided transportation of goods and people, a source of water for crops, livestock and industry, and a means of entertainment and recreation. The river continues to provide all of these necessities. The local historic districts that are along the river could easily be connected to the Riverwalk, Park and Greenway System that has been designed for South Bend. This type of approach would strengthen the ties of various historic elements in the city and make more apparent the value of these somewhat neglected features.

A portion of Riverside Drive Local Historic District is directly across the river from West North Shore Local Historic District and is connected by the Leeper Park Bridge. Although the physical

connection of the Lafayette Street bridge is no longer present, a visual and psychological link remains. The presence of Shetterley Park within Riverside Drive Local Historic District strengthens the concept of developing ties to the park system and the local historic districts. River Bend Local Historic District is connected physically by Leeper Park to Riverside Drive Local Historic District. River Bend Local Historic District is, in turn, linked directly to the East Race Waterway that has recently returned to active use.

Edgewater Place Local Historic District presents a definite opportunity for a physical connection to the river. The residents along Edgewater Drive maintain the riverbank and use it as waterfront property. The University of Notre Dame is another important fixture that is linked to the local historic districts through a visual connection in Edgewater Place Local Historic District. The Notre Dame boat launch is across the river from Edgewater Place. This is an example of two historically significant entities, the local historic district and the University of Notre Dame, linking to a third, the St. Joseph river. This is a tie that should be recognized and preserved.

East Wayne Street Local Historic District is tied to the important industry and development of the City of South Bend in an indirect way. Many of the homes built by the tycoons of business and industry are located in East Wayne Street Local Historic District. This is the reason for the establishment of the district which maintains the most historically correct landscape of any of the local historic districts.

Lincolnway East Local Historic District has a tie to the river that is totally ignored. Opening connections to the river, if only visually, would make the district more appealing with a stronger tie to other historic aspects of South Bend.

The history of South Bend is extremely strong with industrial, commercial and educational institutions. The local historic districts present a rich architectural history of the land development in the city. The architectural aspect of history is one easily lost to the possibility of monetary gains. The land is treated in the same fashion.

The landscape elements of the city can tell a story of the community's history. The landscapes in the local historic districts work to tie the individual properties together into a cohesive unit. Standards regulating the alteration of the landscape should be set up to insure that the identifying elements are not defaced and the historical significance is not lost.

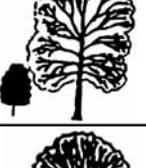
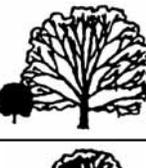
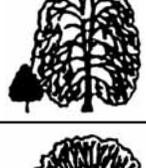
CHOOSING THE RIGHT TREE

The following charts show a list of hardy trees, tolerant of urban environments, that would be acceptable under South Bend City Ordinance No. 3425. This ordinance specifically prohibits planting of the following species: Catalpa, Soft or Silver Maple, Box Elder, Poplar, Cottonwood, Tree of Heaven, Birch, Horse Chestnut, Willow, Mulberry, Chinese Elm (often confused with the Siberian Elm), Ailanthus, Mountain Ash, Carolina Poplar, Basswood and all nut-bearing trees.

"Form" refers to the shape the tree will have. In each drawing, the small, solid image approximates the tree at 15 years while the larger, outlined image represents the tree at maturity. The branch pattern within the outline shows how the silhouette will appear in winter.

The botanical name is the one to use when purchasing a tree to ensure that the proper species is being selected. The common names can be confused and this type of confusion could result in delivery of the wrong tree. Any reputable nursery will use the botanical name to ensure the proper product is being delivered.

Some basic comments referring to fall color, tolerance, any disease problem or outstanding characteristics are provided as a starting point. The nursery will be able to provide more specific information.

FORM	COMMON NAME	BOTANICAL NAME	COMMENTS
HEIGHT OF 65' OR MORE – TREE LAWN OF NO LESS THAN 6'			
	Sugar Maple	<i>Acer saccharum</i>	Yellow in Fall – not for street
	Ginkgo	<i>Ginkgo biloba</i>	Yellow in Fall – light shade
	American Sweetgum	<i>Liquidambar styraciflua</i>	Yellow/scarlet in Fall
	Tulip Tree	<i>Liriodendron tulipifera</i>	Too large for street
	White Oak	<i>Quercus alba</i>	Move only when young
	Scarlet Oak	<i>Quercus coccinea</i>	Less pollution-tolerant
	Pin Oak	<i>Quercus palustris</i>	Chlorosis Prone
	English Oak	<i>Quercus robur</i>	
	Red Oak	<i>Quercus rubra</i>	Russet in Fall
	Japanese Scholar Tree	<i>Sophora japonica</i>	Messy with fruit and flowers like crabapples (<i>Malus</i>)
	Littleleaf Linden	<i>Tilia cordata</i>	
	Japanese Zelkova	<i>Zelkova serrata</i>	Meant to replace Dutch Elm

FORM	COMMON NAME	BOTANICAL NAME	COMMENTS
HEIGHT OF 50' – MEDIUM TO TALL GROWING – TREE LAWN OF NO LESS THAN 5'			
	Norway Maple	<i>Acer platanoides</i>	Very tolerant, dense shade, narrow spreading branches. Leaves in red in Spring then turns green.
	Columnaris Crimson King Schwedleri		
	Hackberry	<i>Celtis occidentalis</i>	Good urban tree
	Yellowwood	<i>Cladrastis lutea</i>	Nice flower – a bit weak-wooded.
	White Ash "Autumn Purple"	<i>Fraxinus americana</i>	Some disease – many seeds. Seedless variety
	Green Ash "Marshall's Seedless"	<i>Fraxinus pennsylvanica</i>	Hardy Seedless variety
HEIGHT OF 40' – MEDIUM GROWING – TREE LAWN OF NO LESS THAN 5'			
	Green Mountain Maple	<i>Acer saccharum</i> "Green Mt."	More tolerant than Sugar Maple
	Seedless Horsechestnut	<i>Aesculus x plantierensis</i>	No nuts
	Golden Raintree	<i>Koelreuteria paniculata</i>	Very tolerant Decorative pods in Fall
HEIGHT OF 25' – SMALL GROWING – TREE LAWN OF NO LESS THAN 5'			
	American Hornbeam	<i>Carpinus carolina</i>	Strong wood Slow growing
	White Fringe Tree	<i>Chionanthus virginiana</i>	Fragrant flowers. Birds love the berries.
	Sourwood	<i>Oxydendrum arboreum</i>	Ornament in all seasons
	Amur Corktree	<i>Phellodendron amurense</i>	Not for street planting

APPENDIX C

Lincolnway East Local Historic District Street Lighting

AGREEMENT BETWEEN INDIANA & MICHIGAN ELECTRIC COMPANY AND HISTORIC PRESERVATION COMMISSION OF SOUTH BEND & ST. JOSEPH COUNTY

WHEREAS, Indiana & Michigan Electric Company, hereinafter called "I&M," and the Historic Preservation Commission of South Bend and St. Joseph County have a mutual interest in maintaining the character of historic districts and in providing adequate lighting for public ways, the parties now agree as follows:

1. I&M will apply to the Historic Preservation Commission for approval of designs of replacement lamp fixtures which shall be uniform for all Historic Preservation Districts. Thereafter, should a lamp fixture require removal and no replacement lamp fixture of similar design be available from the City or other sources, the pre-approved design will be allowed in the Historic Preservation Districts subject to directions from the South Bend City Engineering Department.
2. In the event a lamp fixture in a Historic Preservation District is damaged, I&M will de-energize and remove the damaged lamp fixture for the public safety; however, no replacement will be made until specific instructions are received from the South Bend City Engineering Department.
3. When historic lamp fixtures or poles are removed from Historic Preservation Districts or in front of any Historic Landmark or when other "old style" lamp fixtures are removed from areas of the city not within Historic Preservation Districts, said poles and fixtures will be made available to, and stored by, the City of South Bend. As replacement lights are required within Historic Preservation Districts they will be drawn from this supply. In the event that there are no historic or "old style" lamps in storage, then the pre-approved design of replacement lamp fixtures, as referred to in paragraph no. 1 above, will be installed.
4. I&M reserves the right to determine when the lamps have been damaged to a point when they cannot be repaired.
5. This Agreement may be cancelled by either party upon the other party giving at least six (6) months notice in writing of its decision to cancel this Agreement.

Jim Cartwright
Energy Services Supervisor

James Allison
Division Manager

John Oxian
V.P. Historic Preservation Commission

JoAnn Sporleder
Historic Preservation Commission

APPENDIX D

Historic District Liaison Committee

1. WHAT IS THE HISTORIC DISTRICT LIAISON COMMITTEE?

A group of 3 people chosen to work with the residents of the district and the Historic Preservation Commission. (see Part V, General Guidelines, Paragraph E.)

2. WHO IS ELIGIBLE TO BECOME MEMBER?

Any property owner in the district, over the age of 18 who volunteers or is nominated.

3. HOW LONG MUST I SERVE AS A COMMITTEE MEMBER?

For a one-, two- or three-year period.

4. HOW OFTEN WILL THE COMMITTEE MEET?

Every four months. In addition, the Historic Preservation Commission meets once a month on the 3rd Monday of each month, and it is advisable to have a representative from the liaison committee from our district attend each meeting.

5. HOW IS THE COMMITTEE SELECTED?

If there are 3 or fewer volunteers or nominees, those persons are the liaisons. If there are more than 3, the property owners in the district will chose 3 by vote.

**VOLUNTEER FORM FOR LIAISON COMMITTEE FOR
LINCOLNWAY EAST LOCAL HISTORIC DISTRICT**

NAME _____

ADDRESS _____

HOME PHONE _____ BUSINESS PHONE _____

SIGNATURE _____

Please send completed form to: Historic Preservation Commission
Lincolnway East Liaison Committee
County-City Building
227 West Jefferson Blvd.
South Bend, Indiana 46601

Duties of Historic District Liaison Committee Members

1. Work and communicate with the residents of the district and the Historic Preservation Commission.
2. Inform and give recommendations to area residents pertaining to the district's standards.
 - a. Meet with new property owners and distribute the standards book along with other pertinent information.
 - b. Notify the Commission of the names and addresses of new owners.
3. Advise Commission of any possible infractions of the historic district standards that may occur with the property owners and work with them toward a solution to the problem.
4. Hold liaison committee meetings once every four months or as situations arise.
 - a. Keep records of all business conducted during these meetings and all other meetings called by the historic district liaison committee.
 - b. Disseminate pertinent information to the district property owners through whatever means available, such as a neighborhood newsletter, flyer, etc.
5. At least one representative of the committee attend the monthly Historic Preservation Commission meeting.
6. Participate in the scheduled revisions and updating of the historic district standards.
7. Make an annual report to the Commission at one of the regularly scheduled meetings.