

The West North Shore Drive Local Historic District was established in 1978.

**PUBLISHED BY
THE HISTORIC PRESERVATION COMMISSION OF
SOUTH BEND & ST. JOSEPH COUNTY (2003)**

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The West North Shore Historic District was conceived by a cooperative effort of property owners from within the district. Application for designation of the district was assisted by a District Steering Committee, Dr. Thomas Broden, Mrs. Charlotte Whitaker, Mrs. Maurice Wyatt, and Mrs. Francis Yeandel, who aided in original development of the guidelines.

Historic Preservation Commission members at the time of district institution included: Ted Wesielewski, President; Gerald Kline, John Oxian and Joann Sporleder. The district drawing which appears on the cover, as well as those on pages seven through eleven, were done by Brian Crumlish, AIA.

Much of the text in this publication regarding history and architectural styles has been adapted from the 1993 edition of the *South Bend Summary Report for the Indiana Historic Sites and Structures Inventory*. Many photographs are also drawn from the work on this publication. Much credit for these facets of the guidelines goes to Fred Holycross, editor of the Summary Report, and the many assistants and interns who contributed to its compilation.

The map of the West North Shore Drive Local Historic District and its boundaries was provided by the staff of the Area Plan Commission of St. Joseph County.

Most technical illustrations have been excerpted from the *Preservation Briefs* series published by the Preservation Assistance Division of the National Parks Service, U.S. Department of the Interior. Some technical illustrations are from the 1978 publication by the Preservation League of New York, *A Primer: Preservation for the Property Owner*.

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Dear West North Shore Drive District Resident,

You are reading a digital re-printing of the West North Shore Drive Local Historic District Guidebook, which was most recently published in 1987. Back then, the Historic Preservation Commission office did not have the technology or equipment necessary to digitally store or reproduce an entire booklet. Therefore, only parts of the text and some of the drawings were saved in a form that allowed for direct reprinting. The rest has been reconstructed, and several technical and typographical corrections have been made, though the substance of the book is unchanged.

With this digital reproduction, future reprinting will be much less costly. Additionally, we will be able to make substantive revisions, when and if requested by the Neighborhood Association, with greater speed and economy than was previously possible.

We also expect (hopefully by midsummer, 2003) to make this booklet available in its entirety on our website, so that those of you needing additional copies, or wishing to transmit information to prospective buyers, landscape artists, housepainters, and other friends, can point them to our e-address, or download additional copies yourself.

West North Shore Drive Local Historic District is a lovely place, and all of the members of the Historic Preservation Commission, and I as director, greatly enjoy working with all of you. We especially appreciate the environmental sensitivity that causes your neighborhood to continue to place a high value on unpaved lawns, large trees and bushes, and open, park-like vistas. Please do not hesitate to call on me, or any of the HPC members, whenever we may be of assistance, or when there is information we may be able to provide.

Yours,



Karen R. Hammond-Nash, Director

**HISTORIC PRESERVATION COMMISSION
OF SOUTH BEND & ST. JOSEPH COUNTY**

June 2003

The District and Its Properties

HISTORY

West North Shore Local Historic District was designated by ordinance in 1978. Although this collection of residences is primarily a product of the early 20th Century, the land on which the district stands is thought to have been first used by Native Americans as a place to fish and camp and then in 1820 by Pierre Navarre, the area's first non-native resident, for the location of his trading post (the cabin now in Leeper Park).



Pierre Navarre Cabin



Pierre Navarre

Navarre's son, Peter, sold the property in 1863 to Alexis Coquillard, son of the fur trader and cofounder of South Bend of the same name; in 1866 the land was purchased by Samuel Leeper, who farmed the land.

The oldest structure in the district, a vernacular farmhouse at 113 West North Shore, was built for Samuel Leeper, Jr. by his father as a wedding gift in 1888. The younger Leeper discovered clay deposits here around the same year and built a brickyard. The bricks, yellow in color, were used for buildings at The University of Notre Dame and were the first to be used in street paving in South Bend on West Jefferson Street.



Alexis Coquillard Jr.

In 1893, Leeper rented the brickyard and clay pits to others and became associated with the Home Improvement Company, selling the company his tract of land by the river for \$75,000.00. In December, 1903 the Home Improvement Company filed a plat and named it the Navarre Place Addition; the old Leeper house was soon part of a subdivision stretching from the river, four blocks to the north, and running from Michigan west to Lafayette Boulevard.

The subdivision became a stylish place for middle-class homes; it was within distance of downtown via the streetcar line on Michigan but was removed from older, crowded sec-

tions of the City. Among the first residents here were: Judge Thomas Slick (1906), a local prosecuting attorney involved with several notorious cases involving the Ku Klux Klan and "gangs"; Solon Rider (1906), proprietor of a "five and dime" store on Michigan Street and vice president of the Home Improvement Company; and Dr. Edwin Lent (1905), a Canadian immigrant who helped organize the South Bend Clinic.

Today's district consists of the nineteenth-century Leeper farmhouse, seventeen early twentieth-century structures in a variety of popular styles of their time and two 20th Century Ranch-style houses. Among the many interesting residences here is a Sears and Roebuck mail-order house. This Neoclassical structure, a "Magnolia" as it was named by the manufacturer, was constructed in 1927 for Daisy and Max Stryker at 325 W. North Shore. In 1925, an Italian Renaissance structure was built at 219 W. North Shore. This was one of few designs in this mode by local architect Ernest Young. Its neighbor to the north, 221 W. North Shore, is an example of the Mission Revival style popular in the 1920s when it was constructed.



SAMUEL LEEPER

"Sam'l, Sam'l, I've been wonderin'
"How a man may win success;
"Farmin's good, but bankin's better;
"Both together's great, I guess."

BUILDING TYPES & STYLES

Types

VERNACULAR

A catch-all category to describe simple houses of one or one and a half story, cottages may be decorated in any style although they are most often found locally with stick-style features such as turned post porches with scrollsawn tracery and brackets. Such buildings which were often constructed by carpenter builders from ready-cut kits or without professional design are referred to by scholars as “vernacular” buildings.



AMERICAN FOURSQUARE



The preeminent post-Victorian house type during the first half of the 20th Century, the Foursquare’s simplicity and practicality made it ideal for economical construction and maintenance. Two stories in height, with a square ground plan this design encloses the most volume with the least material within the rectangular framework implied by balloon frame construction. Capped with a gabled or hipped roof, many have one or more dormers which along with porch variations allow great latitude in the stylistic decoration of the house. Foursquares may be commonly found with Queen Anne, Colonial Revival, and Craftsman features.

RANCH

Another building type originating in the United States, the ranch is a single storied structure with an oblong rectangular plan which typically presents its broad facade to the street, often with an attached garage. This type of plan derives from the low profiled houses advocated by the Prairie School designers and later implemented in post-war California contemporary housing developments. Designers quickly learned to apply period details to the ranch plan to meet regional tastes.



Styles

QUEEN ANNE



Often called “Free-Classic”, this style employed an informal blend of Eighteenth Century English and medieval architecture. The most popularly known Queen Anne feature is the corner tower or turret. However, often applied to a simpler box form, the style conferred character by applying irregular roof shapes and door and window placement and characteristic details such as oval windows, classical columns and eaves which return around corners. This style was popular from the mid 1880s until about 1910.

Revival Styles

The trend toward reviving Architectural Traditions from the past and from divers cultures developed into a movement in the late nineteenth century. The movement was characterized by a free application of architectural detail to a variety of structural forms.

CLASSICAL (NEO-CLASSICAL)



Interest in the classic architecture of Greece and Rome revived following Chicago’s Columbian Exposition of 1893 and quickly gained popularity for public buildings and elegant residences. Characteristic elements include academically studied symmetrical facades with full height porches supported by columns in the classical orders, pilasters, keystones, pedimented openings and dentilated cornices.

TUDOR

Often rambling asymmetrical structures, this style emulated the appearance of late medieval English architecture by mixing untidy brickwork with falsework at the upper stories simulating the appearance of half-timber framing with wattle and daub fill. Windows often are casement type glazed with leaded glass.





RENAISSANCE

Taking inspiration from the Italian city state architecture of the Sixteenth and Seventeenth Centuries, this style often imitated stonework in rendered stucco. Arched doors and windows in series and decorative ironwork are also common.

FRENCH ECLECTIC

This style is the French equivalent of Georgian, originating from the high-style architecture there during the Eighteenth Century. Roofs are often more accentuated or in the Mansard form and window openings are often carried to the floor in what is commonly referred to as the "French door". Windows are usually casement type.



MISSION

A Mediterranean style with some features similar to the Renaissance Revival, Spanish architecture is influenced by Moslem motifs via North Africa. Walls are often parapeted and finished with stucco for siding. Clay tile is common for roofing. Windows and doors often feature round arches.

COLONIAL

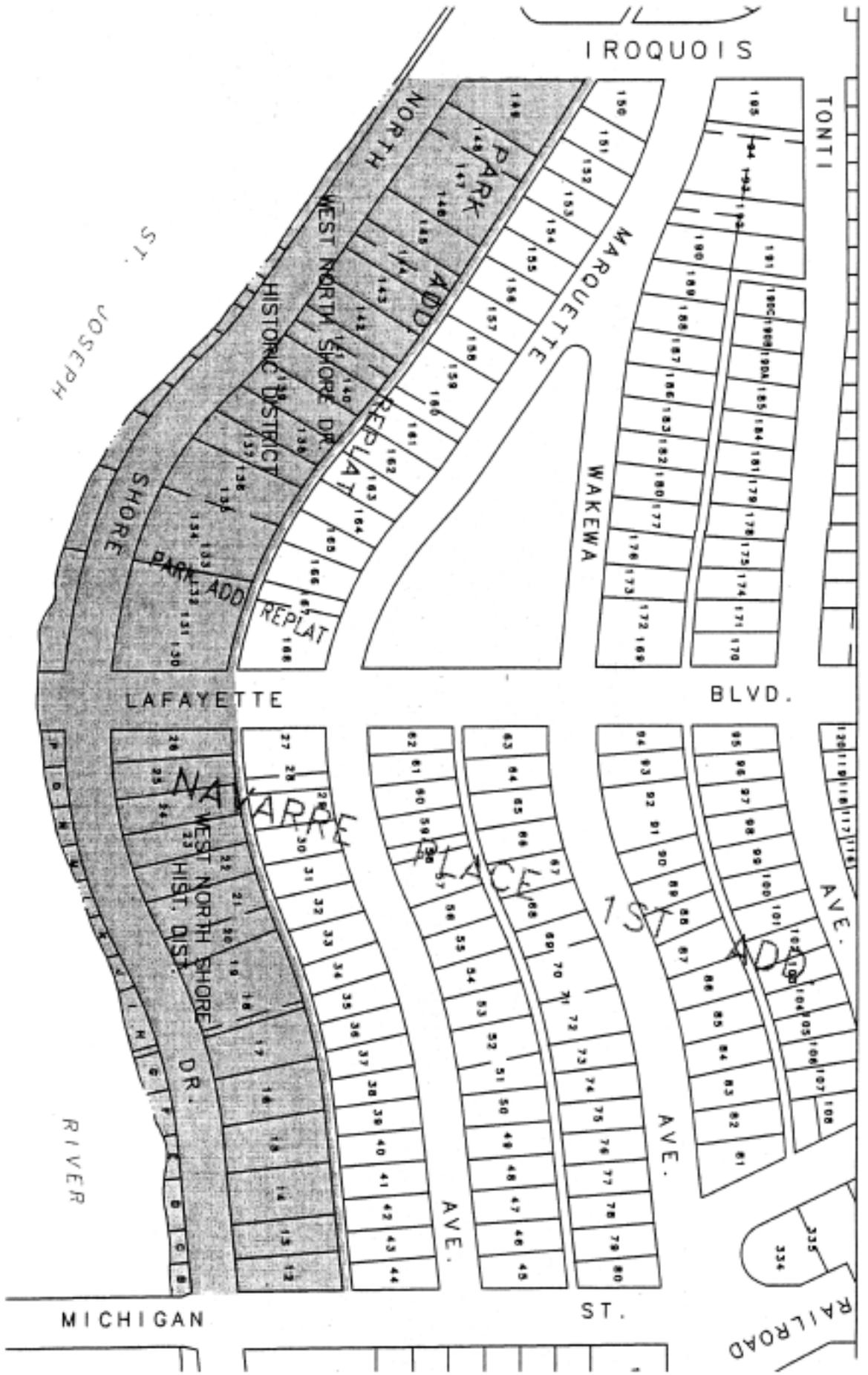
Inspired by the American Centennial (1876), Colonial Revival became popular in the 1880s and remained so through the Twentieth Century. The identifying features are in the applied architectural details which are reminiscent of the early American interpretation of Eighteenth Century English and Continental styles.



DUTCH COLONIAL

A common sub-type of the Colonial Revival, this style is dominated by the utilization of a gambrel roof form or a decorative application affecting the appearance of a gambrel. The gables may be directed to the street or to the side.

West North Shore Drive Historic District



RESIDENCES

103 West North Shore Drive
(significant, Queen Anne or Free Classic)

Originally constructed by Judge Thomas W. Slick, who purchased the land in 1904 from the Home Improvement Company and built the house in 1906. Mr. Slick graduated from The University of Michigan in 1893, and was appointed prosecuting attorney for St. Joseph County in 1897.



107 West North Shore Drive
(significant, Neo-Classical)

Built in 1903 by Dr. Edwin J. Lent, an ear, eye, nose and throat specialist. He resided there through 1940.



113 West North Shore Drive
(outstanding, Vernacular)

Constructed in 1888 by Samuel Leeper, Sr. as a wedding present for his son Samuel Leeper, Jr. and his new bride, Della Earl. Samuel Sr. was a pioneer of St. Joseph County with a large farm north of the river. Samuel Jr. manufactured bricks in a brickyard he opened near his house.



a walk along west
north shore drive





117 West North Shore Drive
(significant, Queen Anne or Free Classic)

William A. & Jennie B. Rutherford built this house in 1904. William was born in Madison Township in 1850 to Jesse & Mary Rutherford. In 1874, he joined his father’s grocery business, J.V. Rutherford and Son. He was also elected City Treasurer in 1892.



123 West North Shore Drive
(contributing, American Foursquare)

Designed by architect W. W. Schneider and constructed in 1903 by the Home Improvement Company as part of their development of South Bend’s outer regions. They sold the house to Ward L. Mack in 1904. Mr. Mack was born in Michigan to the artist Francis Mack in 1866. He became the manager for Northwest Insurance Company.



129 West North Shore Drive
(significant, Neo-Classical)

Eugene Harper Miller built this house in 1905. Mr. Miller was a banker, first associated with the Citizen’s National Bank which he left in 1904 to become treasurer of the American Trust. In 1920, he was elected president, holding that position until 1932 when he left during a reorganization of the bank to become the treasurer of the Home Improvement Company.



411

341

337

201 West North Shore Drive
(significant, Neo-Classical)

Built in 1906 by Solon D. & Clara Rider. Mr. Rider was Vice President of the Home Improvement Company and owned a 5&10 store on N. Michigan. The Home Improvement company was organized by 27 men in 1903 as a realty corporation. An architecturally significant carriage house sits behind the main house.



209 West North Shore Drive
(significant, Dutch Colonial Revival)

Built in 1905 by Joseph E. & Florence Neff. Mr. Neff was the organizer and secretary of the American Trust Company and the secretary of the Home Improvement Company. The Neffs lived in the house through 1912, then sold it to Arthur Russell, an undertaker.



215 West North Shore Drive
(non-contributing, American Foursquare)

Built in 1905 by Franklin & Carrie Carson. Mr. Carson was a dentist and a former mayor of South Bend. He lived in the house until 1919 when he sold it to Edgar R. Stoddard, superintendent of maintenance for Studebaker.



325

315

305



219 West North Shore Drive
(significant, Italian Renaissance Revival)

In 1925 Walter E. Bryan hired architect Ernest Young to design this house which was built the same year. Mr. Bryan came to South Bend in 1910 and bought out the James Towner Advertising Agency and the Fred Kale Agency, consolidating them to form the General Outdoor Advertising firm.



221 West North Shore Drive
(significant, Mission Revival)

Built in 1920 by Henry & Clara Hoover, Mr. Hoover was a wholesale lumberman. He resided in the house until his death in 1934, leaving the house to his wife, Marie, who continued to live there until her death at which time the house went to their son, Henry Jr., he lived there until 1995.



229 West North Shore Drive
(significant, Tudor Revival)

Constructed for Charles A. Dolph in 1910. Mr. Dolph was the Vice President of the Merchant's National Bank and dealt in household goods and stoves. As a side hobby Mr. Dolph dabbled in real estate and helped develop the North Shore area.



305 West North Shore Drive
(significant, Colonial Revival)

Harvey Elwood Dalton bought this property in 1919 for \$5,000 and built the house, with architects Freyermuth & Maurer, three years later. Mr. Dalton began his career in Detroit first with Int'l Harvester and later as a statistician at Packard Motor Company. In 1912 he joined Studebaker in South Bend as an accountant.



229

221

219

315 West North Shore Drive
(significant, French Eclectic)

This Austin & Shambleau house was built in 1923 by Samuel R. Dunnuck, president of G.E. Meyer & Son, a company dealing in hardware and building supplies. Mr. Dunnuck joined the Meyer firm in 1904 as a bookkeeper. Two years later he married Mary Johanna Meyer, the owner's granddaughter.



325 West North Shore Drive
(significant, Neo-Classical)

This house was constructed by Max Stryker in 1926, he bought the plans from a Sears catalog in which it was referred to as the "Magnolia" house. In the 1920s, Stryker collaborated with his cousin, Harry Shroff, to organize the Federated Teachers Service Corporation, which published music.



337 West North Shore Drive
(significant, Period Revival)

Constructed in 1925 by Dr. Charles E. Savery, an eye, ear, nose & throat specialist. Dr. Savery sold the house circa 1927 to Rutherford Walter, owner of Walter French Dry Cleaner Company.



341 West North Shore Drive
(non-contributing, Ranch)

In 1939 the original house on this lot was torn down. By the mid-1940s the house was owned by John H. McLean, who built this existing ranch style house in 1949. He lived there until 1953 when he sold it to Sylvester Kaminski, co-founder of Kaminski-Mooren Fruit Co., and Kaminski Bros. Real Estate Corp.





411 West North Shore Drive
(contributing, Colonial Revival)

Harry & Margaret Cooper purchased the property in 1924, but did not build on the lot until 1938 when they hired local contractor, William Reinke to construct this house. Mr. Cooper was a physician, with offices at 410 Sherlan Building. The Coopers lived in the house until 1948 when they sold it to Dr. George E. Gates, a specialist in internal medicine.



425 West North Shore Drive
(significant, Tudor Revival)

Built by businessman Albert A. Fulk in 1927. Mr. Fulk was employed at the George Wyman Co., until 1894 when he opened a dry goods store on S. Michigan. In 1921 he started a wholesale underwear and hosiery business. Mr. Fulk also owned a dairy farm and was a stockholder and director of the American Trust Company.

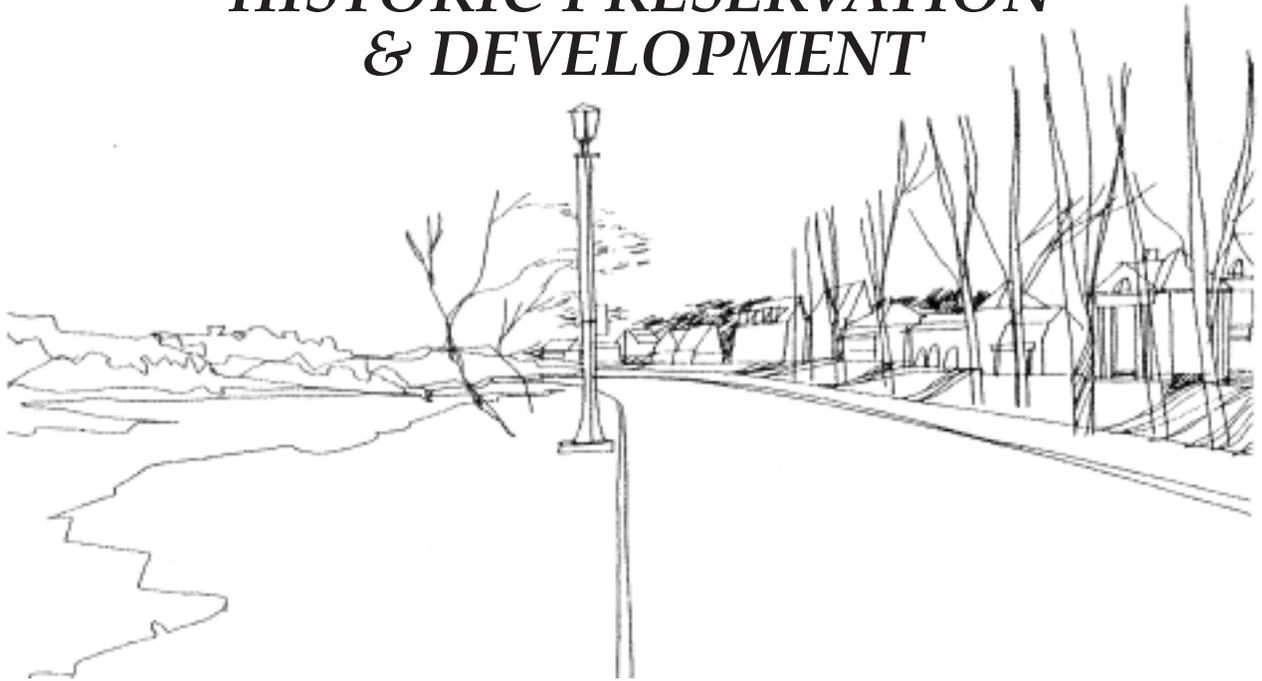


433 West North Shore Drive
(non-contributing, Ranch)

In 1974 Dr. Marion Hillman, St. Joseph County Coroner, sold this property to Paul & Susan Cholis, who built this ranch style house a year later. They lived in the house until 1983 when they sold it to Keith Egan, a professor at South Michigan College. He sold the house in 1988 to William Starck.



GUIDELINES FOR HISTORIC PRESERVATION & DEVELOPMENT



The West North Shore Drive Local Historic District was established by an ordinance enacted by the Common Council of the City of South Bend in 1978 for the protection of the historic character of the neighborhood. Under the requirements of this ordinance, a Certificate of Appropriateness (CoA) is required for any activity in the district which requires a building permit or which alters the appearance of a building or site. Painting of previously painted surfaces is released from this requirement and requires no approval. Consideration by the Historic Preservation Commission of proposed repairs or alterations is guided by the following set of guidelines which have been developed in cooperation with neighborhood representatives and have been adopted by referendum of the district property owners.



General Definitions

(A) PRESERVATION

Defined in these guidelines as the act or process of applying measures to maintain or restore the form, integrity and materials of a building, structure or site in its existing or original condition. It can include stabilization work, restoration or rehabilitation work, ongoing maintenance and/or prevention of demolition.

(B) PRESERVATION GUIDELINES

An outline of requirements and recommendations which are used as guides in the determination of appropriateness of proposed work within an Historic District.

The Historic Preservation Commission has established three sets of guidelines – Restoration, Rehabilitation and Conservation. One of these is selected by each Local Historic District at the time of implementation. This selection is based on the quality and integrity of the architecture and environment of the District, and upon the goals of the neighborhood organization.



Note: The Guidelines selected by the West North Shore Drive Local Historic District are
(b2) - Rehabilitation

The preservation guidelines are defined as follows:

(b1) Restoration

Maintaining the original or unimpaired character of the District as it was at the time of construction. Any restoration done must return the structure to its original state. Authenticity of a restoration would require the removal of incompatible exterior elements and the replacement of all damaged or deteriorated elements with replicas of the same design and materials. New construction shall conform to the guidelines for defined elements of preservation regarding height, proportion and building materials. A Certificate of Appropriateness (CoA) applicant shall be responsible for documenting the authenticity of the proposed work to the satisfaction of the commission.

(b2) Rehabilitation

Maintaining the existing character of the District, and whenever possible returning it to its original condition. Any rehabilitation would not require the removal of all non-original materials but would encourage the removal of all such materials which are incompatible with the defined elements of preservation for the District. The design of new construction or alteration would not require the duplication of the original

design and construction, but should be compatible with the existing structures and the District's defined elements of preservation. The use of original materials or construction techniques would be encouraged, but contemporary methods and materials would be acceptable when compatible.

(b3) Conservation

Maintaining a District in its existing condition by placing guidelines on new construction, and limiting demolition and moving. The use of contemporary methods or materials would be acceptable if they are compatible with the defined elements of preservation for the District.

(C) ELEMENTS OF PRESERVATION

Defined as specific areas of preservation covered within the guidelines. The elements to be defined for each Historic District, with the exception of those with Conservation guidelines, are as follows:

I. Environment

- A. The District Environment
- B. The Building Site and Landscaping

II. Existing Structures

- A. Building Materials
- B. Roofs and Roofing
- C. Windows and Doors
- D. Entrances, Porches and Steps

III. New Construction

- A. Height and Proportion
- B. Building Materials

IV. Safety and Building Codes

- A. Building Code Requirements
- B. Access for Handicapped or Disabled Persons

V. General

(D) GUIDELINE COMPONENTS

Statements within the guidelines which specify the requirements and recommendations for the preservation of the characteristic relationships of the various features which are of significance to the appearance of the Local Historic District.

"Shall" is defined as an expression of something that is mandatory or must be done. "Should" is defined as an expression of obligation, something that ought to be done but that is open to compromise.

(E) GUIDELINE CATEGORIES

Guidelines for the District will address each of the Elements of Preservation individually within four divisions of classification. At the time of implementation of an Historic District, the commission will work with the respective neighborhood association to select the desired category of placement for each of the Guideline Components. These categories are as follows:

(e1) Required

Defined as work which shall be done in a restoration or rehabilitation project in order to restore or maintain the original or existing character of the structure or site.

(e2) Recommended

Defined as work which should be done to help restore or maintain the original or existing character of the structure or site.

(e3) Prohibited

Defined as work which shall not be permitted in a restoration or rehabilitation project because it may have a negative impact on the original or existing character of the structure or site.

(e4) Not Recommended

Defined as work which should not be undertaken in a restoration or rehabilitation project because it may have a negative impact on the original or existing character of the structure or site.

West North Shore Drive Local Historic District Guidelines

I. THE ENVIRONMENT

The West North Shore Drive residential neighborhood from Michigan Avenue to Iroquois Avenue has a distinctive and valuable character. The external appearance of the river and street, homes, and yards communicates and reflects the fact that for over half a century it has been and still is a comfortable residential neighborhood. All of the architectural and charming character of West North Shore Drive has been preserved. The homes are generally architecturally and historically distinctive, large and located on ample lots.

A. THE NEIGHBORHOOD AND THE RIVER

*A view of the river from
West North Shore Drive*

The intimate relationship of the St. Joseph River to this residential neighborhood and to each individual home should be preserved. At present residents, visitors, and passers-by drink in the delights of the River - its Swift, unimpeded current, its substantial breadth and its banks of verdant natural growth. The erection of high walls or other artificial barriers to the enjoyment of the scenic River must be prohibited. Parking on the river side of North Shore Drive must be prohibited.

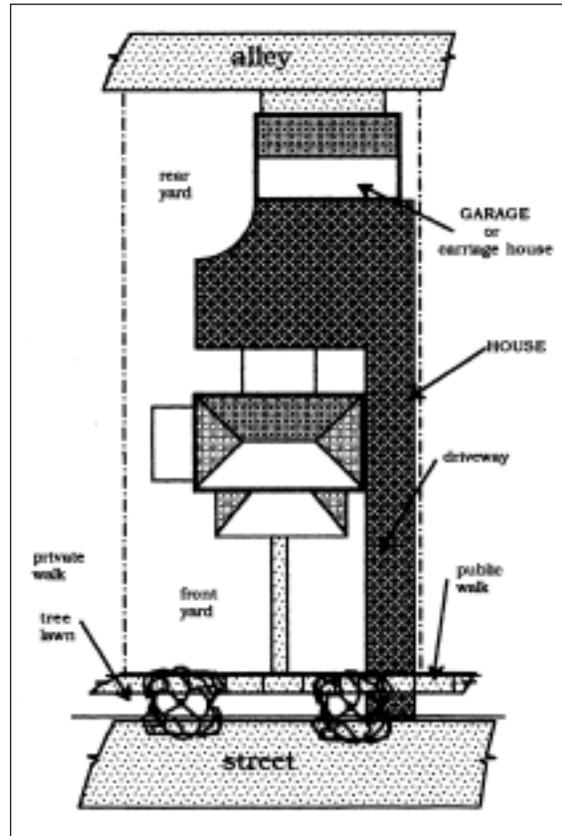


If erosion control efforts become necessary to preserve the river banks, they must involve processes and material consistent with natural beauty of the banks. Poured concrete, concrete slabs, concrete building blocks or other unsightly material must be avoided.

The development of boat landings, access points, scenic overlooks, or terraces should be done in such a way as to preserve the natural beauty of the river and banks. Grass clippings and leaves should be placed on the bank so as to induce building up the bank. They must not detract from the beauty of the bank. Unsightly brush and weeds must be eliminated. Dead or diseased trees and branches should be removed.

B. THE NEIGHBORHOOD AND NORTH SHORE DRIVE

The character of North Shore Drive contributes greatly to the character of the neighborhood. It has always been essentially a passenger car thoroughfare. The introduction of its use for heavy trucks and other similar vehicles must be prohibited. The appointments of the thoroughfare should contribute as much as possible to its architectural, historic, and residential character, with exception being taken to the present thoroughfare appointments to lots 12 and 13. However, the erection of any future thoroughfare appointments or changes to those at present on lots 12 and 13 must receive approval of the Historic Preservation Commission and the property owner.



TYPICAL SITE PLAN

Octagonal Junior Post Top street lights on 100-200 West North Shore Drive

should be maintained. Telephone poles with overhanging sodium bulbs or any high intensity lights must be prohibited on West North Shore Drive in this district. Any change in lighting must receive approval of the Historic Preservation Commission. Where river safety barriers are necessary as at Lafayette Boulevard and Iroquois Boulevard, they should be constructed and terraced to maintain a natural appearance.

C. LAWNS

The current or historic landscaping character of lawns should be preserved. Paving and blacktopping of existing lawns so as to transform them essentially into parking lots or spaces rather than residential lawns must be prohibited. Front yard areas, trees, and lawns must remain



open. Fencing in front yards is prohibited. A fence on the Michigan Street side of lots 12 and 13 may be permitted if done in a distinctive way and is compatible with the character of the structures on these lots, with consideration being made for the high density and speed of traffic on Michigan Street.

Trees contribute greatly to the beauty and charm and indeed the historic character of the North Shore Drive neighborhood. Street widening or other public developments. Street widening or other public developments calling for widespread destruction of large, healthy trees must be prohibited. Replacement of trees must be compatible in variety with those presently growing. The vacant lots must be kept as landscaped or appropriate recreational,, or other similar residential development. This is not intended to prohibit the sale of such lots, nor new construction on these lots.

II. BASIC STRUCTURAL MATERIAL AND ARCHITECTURAL FEATURES

Preferred: Retain and maintain the original exterior building material.

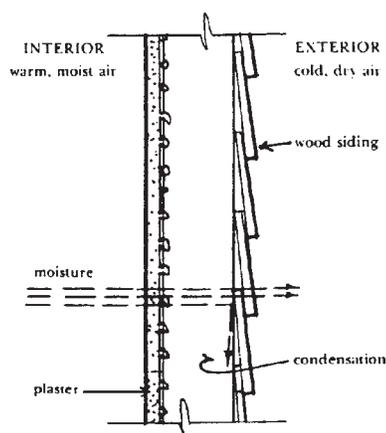
Frame Structures: Repair, repaint, and/or clean siding to deter deterioration.

Masonry Structures: Tuckpoint brick and stone, repair stucco and repaint trim, stucco and brick (if painted) to deter deterioration. Retain and maintain architectural detail of structures such as wrought iron, tile, brackets, etc., or replace when necessary with similar material in texture, size and appearance.

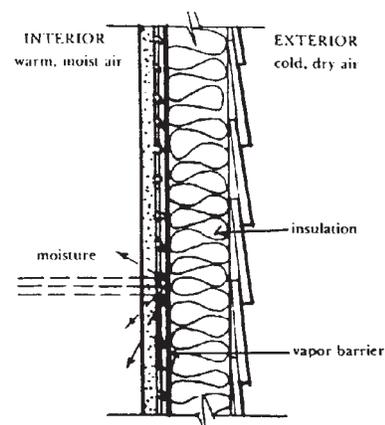
Permitted: If vinyl or aluminum siding is the only economic solution to a deteriorating frame house, architectural detail must be visually preserved. The siding used should match the original in style, width, and lap as closely as possible.

Prohibited: Do not use asbestos or asphalt siding on frame structures. Do not use artificial brick or cast stone siding on brick, masonry, stucco, or frame structures. Do not sandblast or use harsh detergents in cleaning brick, masonry or stucco.

a. Typical wood frame wall where moist inside air freely migrates to the outside. Moisture may condense in the wall cavity and be absorbed into the adjacent materials and evaporate as the wall is heated by the sun.



b. Typical wall condition with insulation and a vapor barrier facing in (toward the heated side of the wall). The vapor barrier prevents moisture migration, thus keeping the insulation dry.



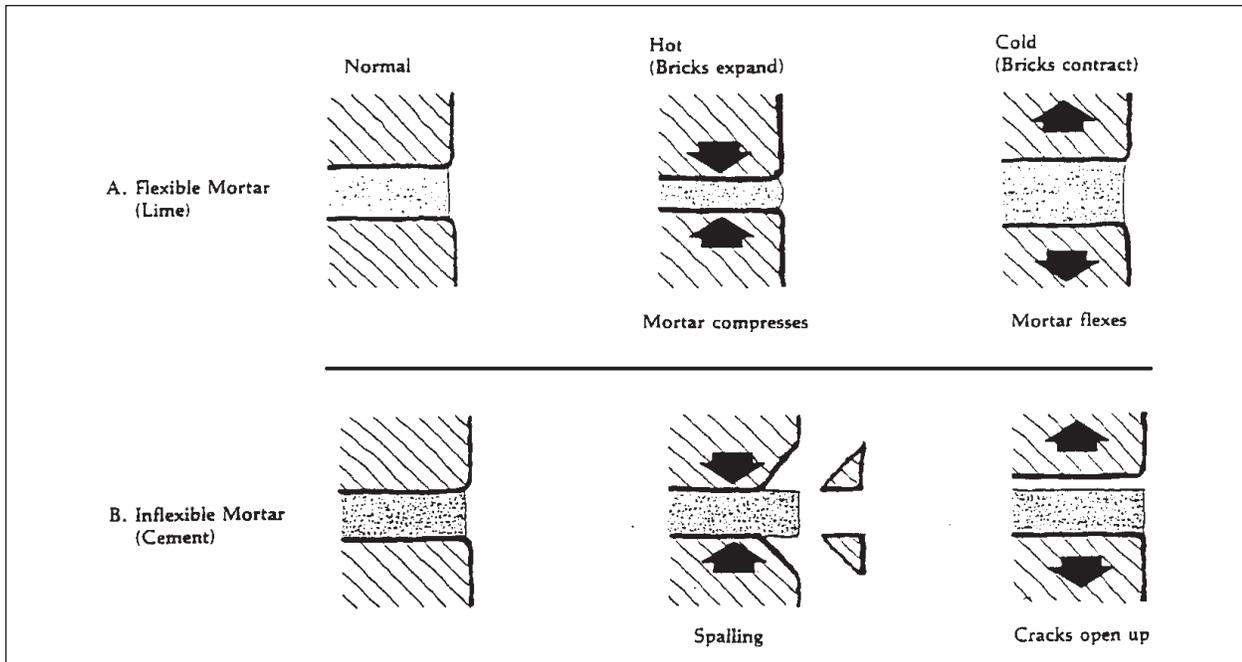


Figure 3. Diagrammatic sketches showing effects of temperature change upon masonry. Flexible mortar (A) expands and contracts with temperature changes. Bricks bonded by inflexible mortar (B) tend to spall at the edges (the area of greatest stress) in hot weather and separate from the mortar when it is cold. This latter condition opens cracks, permitting the entry of water and causing additional deterioration. Adapted from "Maintenance of Old Buildings." Document D10: National Swedish Institute for Building Research, Stockholm, 1975.

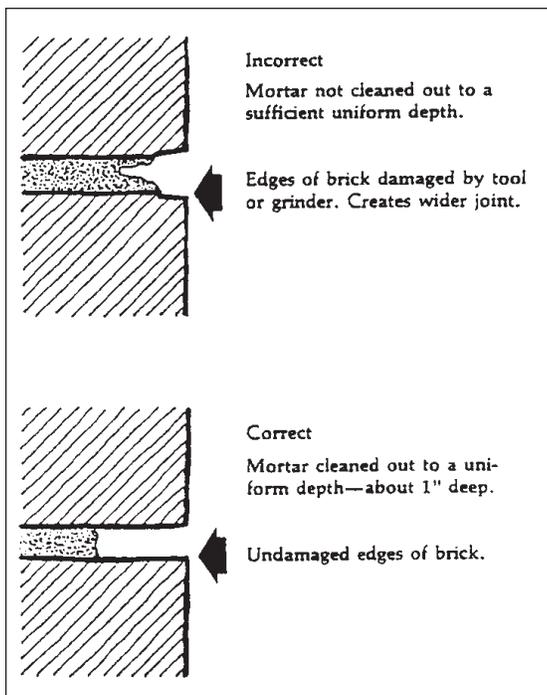


Figure 4. Comparison of incorrect and correct preparation of mortar joints for repointing.
Drawing: Robert C. Mack and David W. Look.

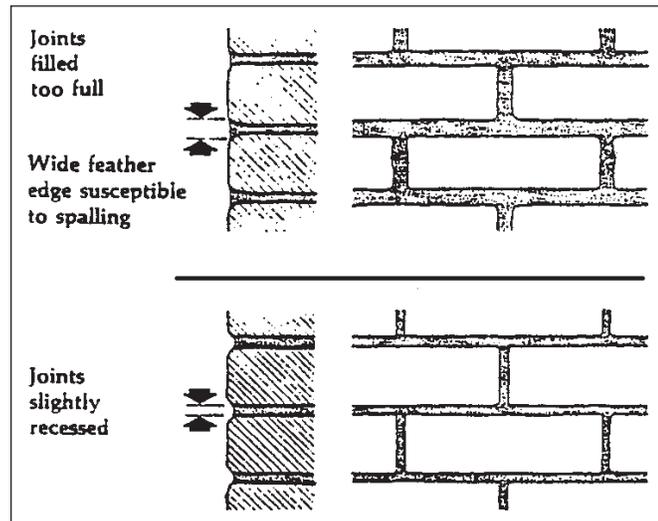
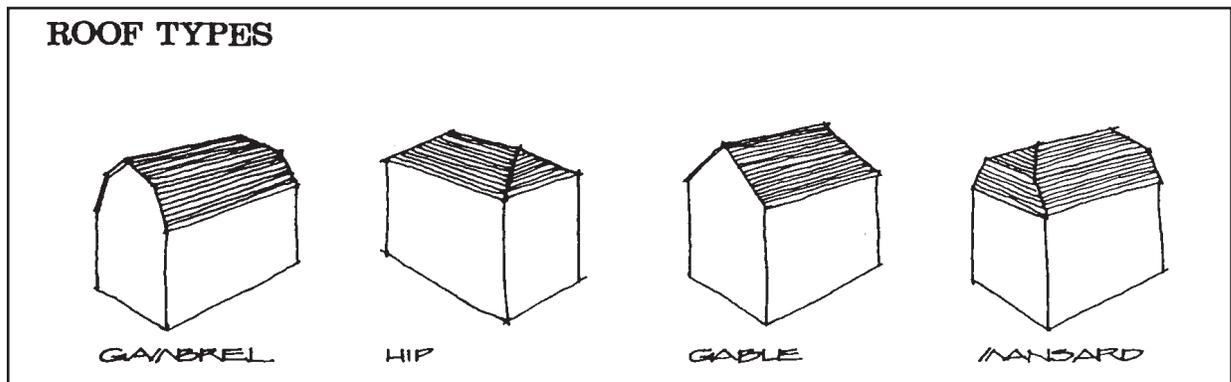


Figure 6. Comparison of visual effect of full mortar joints vs. slightly recessed joints. Filling joints too full hides the actual joint thickness and changes the character of the original brickwork.

III. STRUCTURES

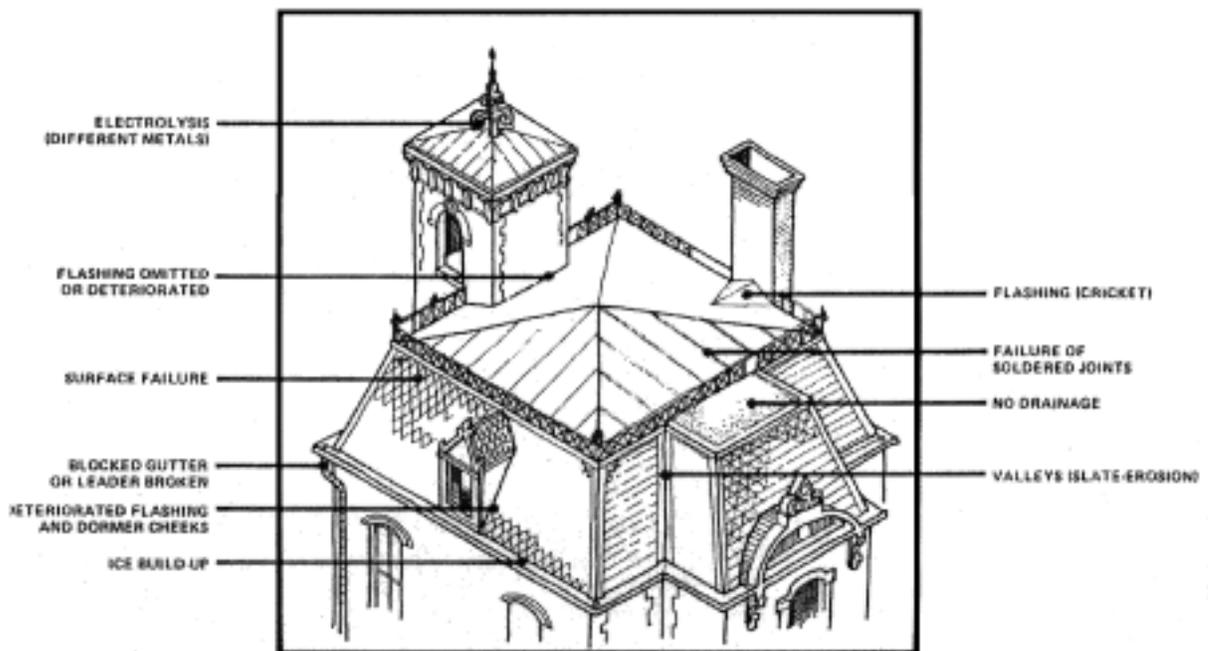
A. ROOFS

Preferred: Keep the original shape of the roof. Retain the original roofing material. A special effort should be made to do this when the roof in question is of tile, slate, or some other unique material not usually found today. Preserve or replace all architectural features which give the roof its character, such as dormer windows, cupolas, cornices, brackets, chimneys, cresting, weathervanes, and special eaves.



Permitted: When necessary to replace roofing material, match the original as closely as possible in size, shape and texture.

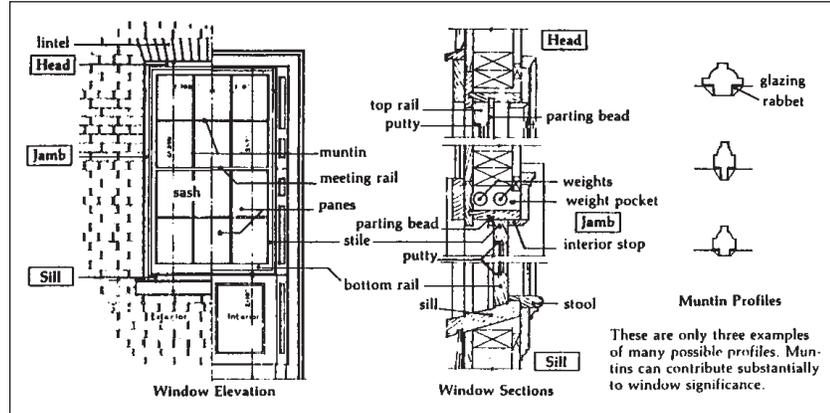
Prohibited: Do not add, remove, or alter features which will change its character or the architectural character of the house.



ROOF PROBLEM AREAS

B. WINDOWS AND DOORS

Preferred: Retain and maintain existing window and doors including sash, lintels, sills, shutters, doors, decorative glass, pediments, hoods, and hardware. Use canvas awnings, if awnings are used. Install wooden frame storm windows and doors painted to match trim. Install insulating glass in existing sash. As to Lot 12, metal storm windows and doors which have been coated to match trim and which are architecturally in good taste with the structure, are preferred.



Permitted: Replace deteriorated doors, windows, sills, shutters, etc. with materials which match the original as closely as possible. A special effort should be made to match the size and style of the window and door openings, so that the overall appearance of the structure is not altered. Install metal storm windows and doors which have been painted, anodized, or coated to match the trim.

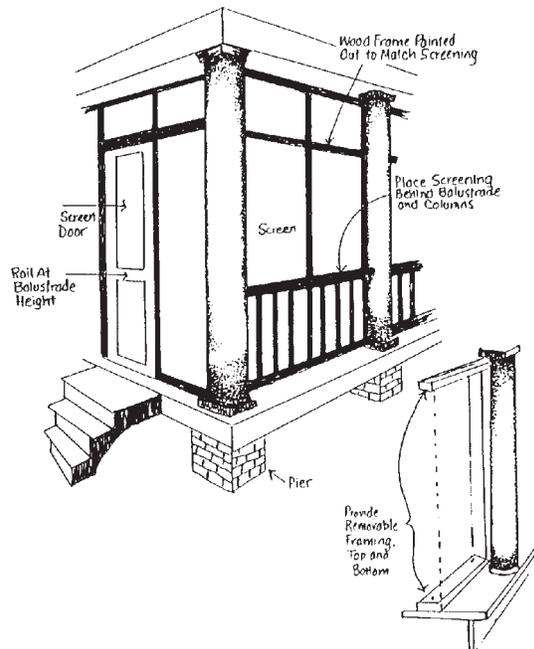
Prohibited: Do not attach or use metal, vinyl or fiber glass awnings nor hoods. Do not attach exterior shutters to a house that did not have shutters originally unless approved in writing by the Historic Preservation Commission.

C. PORCHES AND STEPS WHICH ARE READILY VISIBLE FROM THE STREET

Preferred: Retain and maintain porches and steps including hand rails, balusters, columns, brackets, roof decoration, tile, and brick. If porches and/or steps are enclosed for feat conservation or other reasons, it should be done in a manner that does not destroy the architectural nor historical character of the home.

Permitted: Replace porches and steps with materials matching the original as closely as possible. A cement porch floor is permitted for the structure on Lot 12.

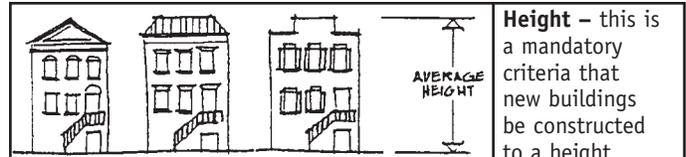
Prohibited: Porches and steps that are appropriate to the style of the house shall not be removed.



IV. NEW CONSTRUCTION OR ADDITIONS TO EXISTING STRUCTURES

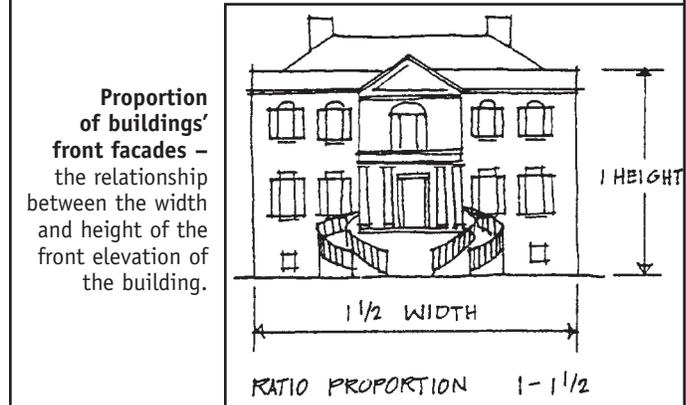
Preferred: Consider the size, scale, roof lines, etc., in the design of a new structure, so that it will be compatible with its adjacent buildings in particular and will blend with the neighborhood in general. New additions to existing structures must be compatible in scale, building materials and texture to the building to which the addition is made. Retain as much of the original structure as possible, so that the addition could be removed without damage to the basic structure and appearance of the building.

Prohibited: Do not use asbestos or asphalt siding. Do not use artificial brick or cast stone siding. Do not use glass brick. Structural concrete block may be used only on foundations for new construction or additions.



Height – this is a mandatory criteria that new buildings be constructed to a height

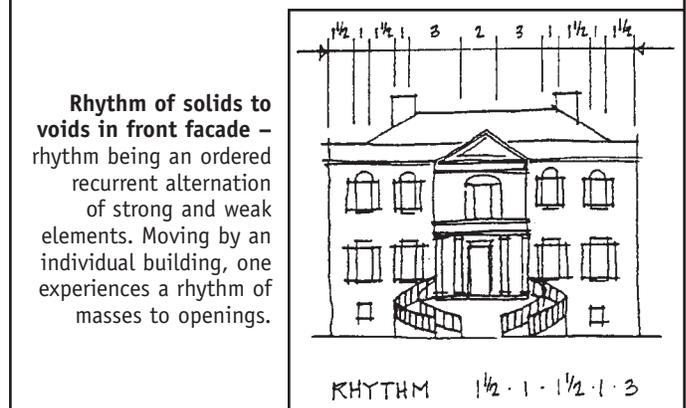
within 10% of the average height of existing adjacent buildings.



Proportion of buildings' front facades – the relationship between the width and height of the front elevation of the building.

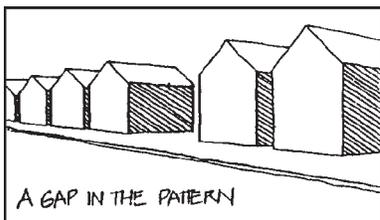


Proportion of openings within the facade – the relationship of width to height of windows and doors.

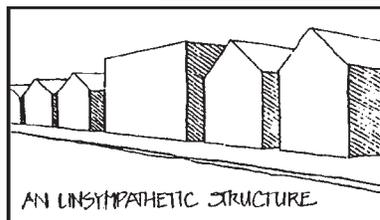


Rhythm of solids to voids in front facade – rhythm being an ordered recurrent alternation of strong and weak elements. Moving by an individual building, one experiences a rhythm of masses to openings.

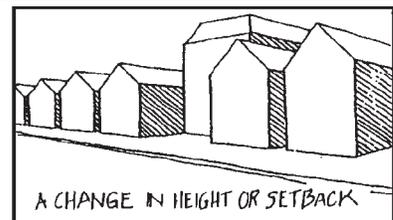
RHYTHM 1/2 · 1 · 1 1/2 · 1 · 3



A GAP IN THE PATTERN



AN UNSYMPATHETIC STRUCTURE



A CHANGE IN HEIGHT OR SETBACK

The Salem Handbook, 1977

V. ACCOMMODATIONS TO THE ENERGY CRISIS AND MECHANICAL DEVICES

Preferred: New approaches to energy conservation such as solar panels and wind generators may well become a practical and necessary part of our future. If you are considering the installation of such an innovation, consult the Historic Preservation Commission so they may recommend how this could be done without interfering with the visual integrity of your house. Place television antenna and other mechanical equipment such as air conditioning units in inconspicuous, preferably hidden, locations.



SIMPLE ENERGY SAVING STEPS

Permitted: Window air conditioners and exhaust fans may be installed in rear or in inconspicuous side windows.

Prohibited: Do not cut holes through walls in areas that can be seen from the street, to accommodate an air conditioner or other mechanical equipment.

Notwithstanding the above, no historic preservation decision, whether constructional or architectural shall be forced on Lots 12 and 13. Total understanding of the special conditions which exist to these properties, proper elevation, and agreement of the then property owner shall remain the sole authority.

VI. SAFETY AND BUILDING CODES

A. BUILDING CODE REQUIREMENTS

Required

Building code requirements shall be complied with in such a manner that the existing character of the building is preserved.

Recommended

Local building code officials should be consulted to investigate alternative life safety measures that will preserve the architectural integrity of the structure. Variances for historic properties should be investigated.

Prohibited

Construction of new stairways and elevators that would alter important architectural features and spaces is prohibited.

Not Recommended

Fire prevention equipment should not damage the appearance or fabric of the building.

B. ACCESS FOR HANDICAPPED OR DISABLED PERSONS

Typical Accessibility Solutions:

Portable or fixed ramp.



Regrade area around entrance.

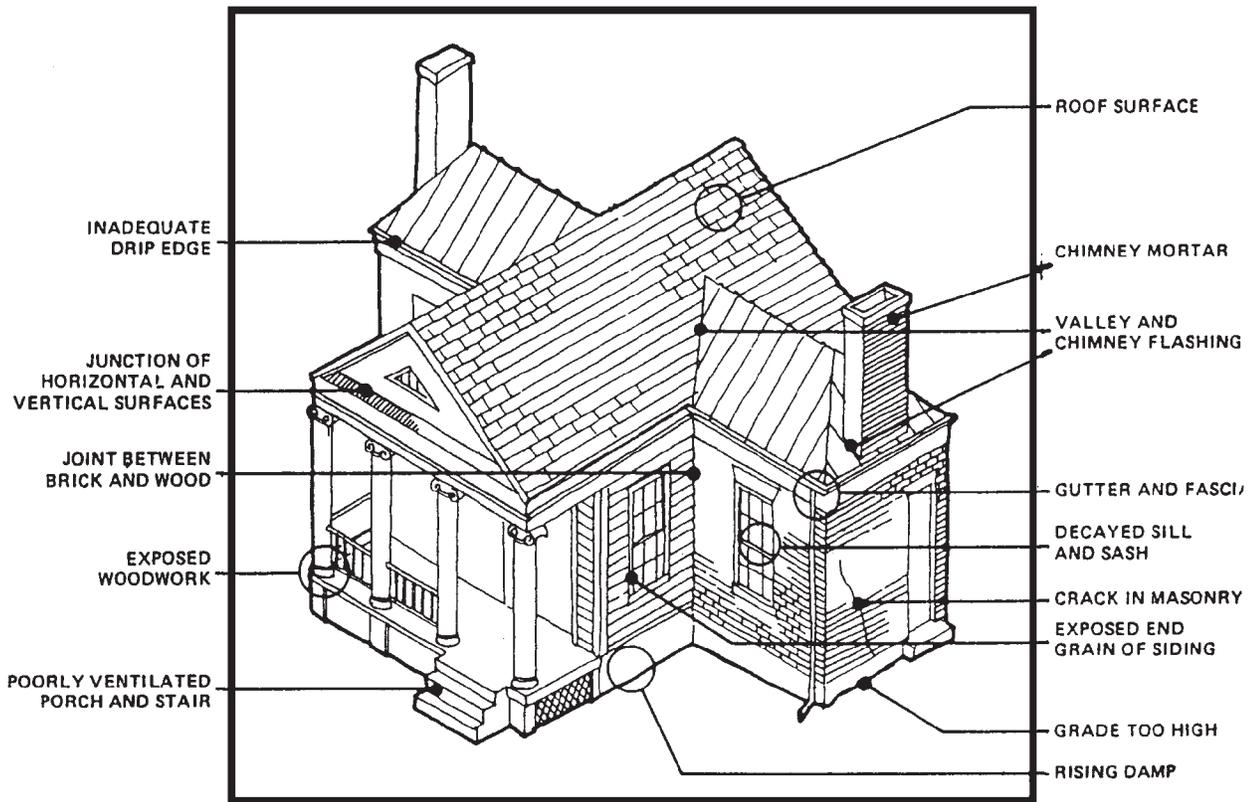


Vertical or inclined lift.

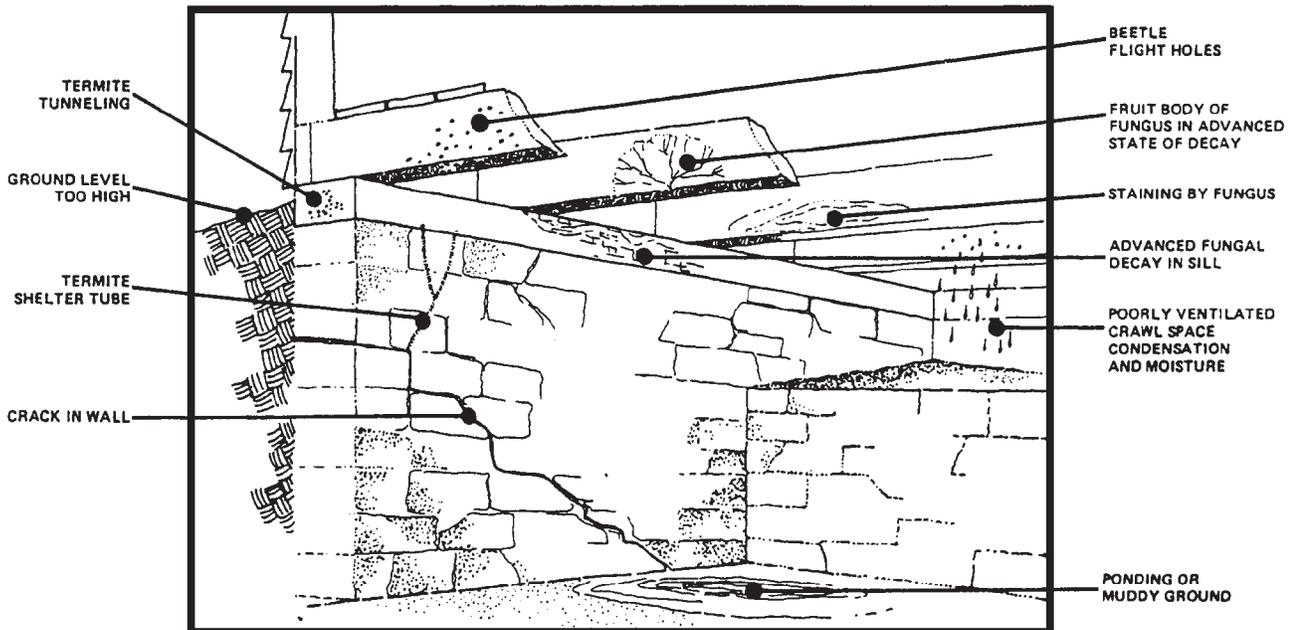


Install handrails.





POTENTIAL AREAS OF DECAY



COMMON PROBLEMS IN THE BASEMENT

VII. GENERAL

House alterations, restoration, preservation and rehabilitation shall be such as to not change a house to a style previous to its original style. No mention has been made in these standards about color. We trust restraint and good taste will be exercised.

Above all else: if there are serious problems or you are not certain what to do, consult a professional – an architect experienced in restoration work, a contractor who has restored several buildings, or an architectural historian working in preservation.

There shall be a Liaison Committee consisting of three property owners of this Historic district. The membership will be made up of one property owner for each block and one property owner-at-large. This committee will be elected by the property owners in this District in September of the calendar year. At the first election, one will be elected to a 1 year term, one to a 2 year term, and one to a 3 year term. At all subsequent elections, each will be elected to a 3 year term. The Committee's responsibility will be to work with the residents of this Historic District and the Historic Preservation Commission.

All standards adopted will be reviewed and updated on the following schedule:

First review – 2 years after adoption of the ordinance.

Second review – 5 years after the adoption of the ordinance.

Continuing reviews every 5 years.

Continued participation in Historic Preservation of this District will be determined by a favorable acceptance of the standards by at least 50% of the property owners on the following voting schedule:

First vote - 5 years after the adoption of the ordinance.

Second vote - 5 years after the first vote.

VIII. ENFORCEMENT PROCEDURES

Enforcement of the preservation guidelines for the historic district is made possible in the Zoning Ordinance of South Bend, ordinance No. 5565-73. The Historic Preservation Commission shall issue a Certificate of Appropriateness before any construction, reconstructing, alteration, demolition or moving of any house or structure within the historic district boundaries is commenced (see Appendix A). This ordinance, however, does not prevent the ordinary maintenance and repair of any building or structure which does not involve a change in any exterior feature, nor does it prevent the reconstruction, alteration, demolition, or moving of any building or structure which the Building Commissioner or other official has determined to be a hazard to public safety.

A Certificate of Appropriateness can be filed in two ways: first, an application for a building permit, demolition permit, or moving permit is automatically and application for a Certificate of Appropriateness; second where no other permit is required, application is made directly to the Historic Preservation Commission (see Appendix).

Where the Historic Preservation Commission deems it necessary, the commission may petition the Common Council for a temporary delay in the issuance of the required permit(s) for proposed construction, alteration, demolition, or moving, for the purpose of preparing a historic preservation plan for a building or district. Such a request shall be for a specified time. In no case may the delay granted by the Common Council exceed one (1) year, but the commission may petition the Common Council for a continuance of any such delay in accordance with the same proceeding as for initial petition.

IX. MINIMUM MAINTENANCE STANDARDS

All Landmarks and all contributing structures located in an historic district shall be preserved from decay and deterioration, and shall be maintained in good repair and kept structurally sound. The owner or other person having charge or control of Landmarks and property in an historic district shall not allow or permit deterioration from defects or conditions which in the judgment of the commission produce a detrimental effect on the character of the district as a whole or the life and character of the Landmark, structure, or party in question, including but not limited to:

- A. Deterioration of exterior walls or other vertical supports causing conditions such as splitting, leaning, buckling, crumbling, visible cracking, or similar conditions;
- B. Deterioration of roofs and other horizontal members causing conditions such as sagging, splitting, buckling, crumbling, holes, missing shingles, or similar conditions;
- C. Deterioration of external chimneys causing such conditions as listing, settling, bulging, crumbling, holes, loose or missing materials, or similar conditions;
- D. The deterioration or crumbling of exterior plasters or mortar;
- E. The ineffective waterproofing of exterior walls, roofs, and foundations, including broken windows and doors;
- F. The peeling of paint, rotting, holes, and other forms of decay;
- G. The lack of maintenance of surrounding environments such as fences, gates, sidewalks, steps, signs, accessory structures, and landscaping;
- H. The deterioration of any feature so as to create or permit the creation of any hazardous or unsafe condition or conditions.

The commission shall give notice to the owner or person in charge of the structure by certified mail or registered mail of each specific instance of failure to maintain or repair. A copy of such notice shall be sent to the Code Enforcement Department. The owner or person in charge of such structure shall have twenty (20) days to respond in writing by identifying specifically the corrective or remedial steps to be taken. A Certificate of Appropriateness shall not be required for such repair unless such repair results in a change in the design, form, proportion, mass, configuration, building material, texture, color, location, or external appearance of any structure or part thereof. In the latter circumstance, a Certificate of Appropriateness shall be required (HPC Policy; adopted 12-16-91)

X. EXCLUSION

These standards shall not apply to structures designated by ordinance as Historic Landmarks.

XI. FUTURE PROJECTS

Develop an overall landscape (including flowering trees and shrubs) and ecological plan for the river bank to be used by the residents as a goal in future planting and maintenance. A registered architect should be consulted.

Develop a program, booklet, newsletter or the like to assist the Historic Preservation Commission in their task of promoting Historic Preservation in suitable areas throughout the city and county.

APPENDICES

Appendix A

Certificate of Appropriateness Procedures

Appendix B

Landscape Assessment Summary

Appendix C

Historic District Liaison Committee

Appendix D

Street Lighting

APPENDIX A

Certificate of Appropriateness Procedures

Any major exterior changes involving architectural treatment, site development requirements or provisions concerning construction, reconstruction, alteration, demolition or removal of any building, structure or parts thereof, shall require a Certificate of Appropriateness.

The procedure to obtain one is as follows:

1. For a project that includes changes to the exterior of a designated property or the surrounding environment, the owner (applicant) must file for a Certificate of Appropriateness (C of A). A project may commence once the Certificate of Appropriateness is approved by the Staff or Historic Preservation Commission (and any other permits required by other departments are obtained).
 - a. For all projects, applicants shall apply directly to the Historic Preservation Commission.
 - b. For projects requiring a building permit a Certificate of Appropriateness will be required prior to the issuance of this permit.

The applicant is urged to consult with the Historic Preservation Commission prior to filing for a building permit to avoid any inconvenience or unnecessary time delay.

2. A \$5.00 or \$10.00 processing fee is required at the time of the application. A member of the Historic Preservation Commission Staff shall inspect the site and review the project. Proper documentation must be submitted to the Historic Preservation Commission for review. This documentation includes sample materials, product literature, scale drawings, photographs or other materials specifically requested.
 - a. If the project is a routine maintenance matter or complies with the established standards and guidelines, Staff may approve the Certificate of Appropriateness.
 - b. If the project is not in compliance or needs a variance, the application will be reviewed by the full Historic Preservation Commission.
3. All approved Certificates of Appropriateness will be reported by the Staff to the Historic Preservation Commission at the next appropriate meeting.
4. The Historic Preservation Commission meets the third Monday of the month. A list of the meeting dates may be obtained in the office of the Historic Preservation Commission.

Continued on Page 33



Application

- FOR -

Certificate of Appropriateness

Historic Preservation Commission of South Bend & St. Joseph County
125 S. Lafayette Blvd., South Bend, Indiana 46601

Mailing Address: County-City Building, South Bend, Indiana 46601

Phone: 574-235-9798 • Fax: 574-235-9578 • Email: SBSJCHPC@co.st-joseph.in.us

Website: <http://stjosephcountyindiana.com/sjchp/>



A Certified Local Government

OFFICE USE ONLY >>>>> DO NOT COMPLETE ANY ENTRIES CONTAINED IN THIS BOX >>>>> OFFICE USE ONLY

Date Received _____ Application Number _____ - _____

Past Reviews: YES (Date of Last Review) _____ NO

Staff Approval authorized by: _____ Title: _____

Historic Commission Review Date: _____

Local Landmark Local Historic District (Name) _____

National Landmark National Register District (Name) _____

Certificate of Appropriateness:

Denied Tabled Sent To Committee Approved and Issued _____

DATE

Address of Property for proposed work: _____
Street Number and Street Name

Name of Property Owner(s): (Please Print) _____

Address of Property Owner(s): _____

Contractor(s) Name: _____

Contract Company Name: _____

Contractor Address: _____

City: _____ Phone: _____

Current Use of Building: _____
(Single Family - Multi-Family - Commercial - Government - Industrial - Vacant - etc.)

Type of Building Construction: _____
(Wood Frame - Brick - Stone - Steel - Concrete - Other)

Proposed Work: In-kind Landscape New Replacement (not in-kind) Demolition
(more than one box may be checked)

Description of Proposed Work: _____

Owner/Contractor: Fax: _____ e-mail _____
(This office will correspond with only one designee)

Signature of Owner and/or _____ Signature of Contractor

— APPLICATION REQUIREMENTS ARE LISTED ON REVERSE SIDE —

APPLICATION FEE

The following schedule of fees shall apply to any *Application For Certificate Of Appropriateness*:

Staff approval (for in-kind work)	\$ 5.00
OR	
Commission Review (all other proposed work)	\$10.00

Payment must accompany the application at the time of submission. For electronically submitted applications, payment must reach the HPC office within 48 hours following transmission.

An Application that proposes demolition and rebuilding of any structure requires separate applications – one for the demolition and another for the new structure. Each Application requires a \$10.00 fee. **If demolition is not involved, a property owner may include several projects at the same address on a single application with no additional fee.**

REQUIRED DOCUMENTATION AND SITE PLANS

The Historic Preservation Commission of South Bend and St. Joseph County cannot render judgment nor process an Application without specific documentation. Comprehensive documentation protects the owner of the property submitting the application by providing a complete understanding of the project for the commissioners and staff rendering a decision. Problems can occur during a project review or during the execution of the project when one or both parties are unclear as to the specifics. *Applications will NOT be processed without all required fees and documentation.*

When an Application has been scheduled for any meeting where a review and decision are to be rendered, the owner or any architect or contractor(s) retained for the project *must* attend such meetings. *Failure by the owner, architect, or contractor to attend such meetings may result in denial of the application due to insufficient presentation.*

Documentation shall include: materials to be used, detailed written description of the project including scale, dimensions, construction methods, finished manufacturers' brochures and specifications, or photographs of the area(s) which the project will affect. When an Application involves new construction, including structures, paths, terraces, or fencing, documentation for the Application must include a site plan showing the location and relative size of the proposed new construction.

Demolition applications are a separate issue and require an Application for Demolition.

Photographs may be submitted in digital format compatible with the commission's operating software, or in any kind of glossy photographic print. any documentation submitted to this office cannot be returned to the applicant.

When a project involves blueprints and/or site plans, two (2) sets should be submitted with the application. Each set will be reviewed page by page, and therefore should carry a stamped date with changes and/or comments indicated on each page. All projects will be inspected during and following execution, for compliance with the decision(s) rendered by the Historic Preservation Commission of South Bend and St. Joseph County.

INSPECTION AUTHORITY

Any work performed on a historic landmark or in an historic district which does not conform to the Certificate of Appropriateness permit, shall be immediately halted by the Historic Preservation Commission and the Building Department of South Bend and St. Joseph County.

INTERGOVERNMENTAL DISCLOSURE

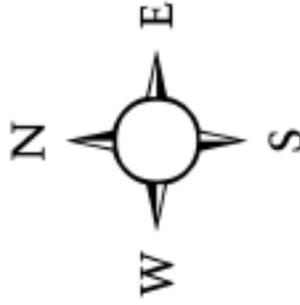
Certificates of Appropriateness will be forwarded to the Building Department of South Bend and St. Joseph County when the applicant also is required to obtain a building permit or other such permit issued by that department. *(The applicant will pick up the permit at that location).* In all other cases, a *copy* of the Certificate may also be sent to the Department of Code Enforcement and the Indiana Department of Historic Preservation and Archaeology. When no building or other permits are required from the Building Department, the Certificate permit will be mailed directly to the applicant.

Certificates of Appropriateness must be filed by the designated date prior to the meeting for placement on the agenda (for application deadlines contact HPC Staff). The applicant or designated representative is expected to attend these meetings to answer any questions. A Certificate of Appropriateness application without proper documentation will be tabled until the owner provides the documentation.

5. The Standards and Maintenance Committee will meet as necessary at the request of the Staff or Commission. The applicant will be invited to attend the meeting to present his/her plans. The Committee will review the C of A and make a recommendation to the full Historic Preservation Commission at the next regular Commission meeting.
6. Decisions regarding a Certificate of Appropriateness will be rendered at the next available Historic Preservation Commission meeting.

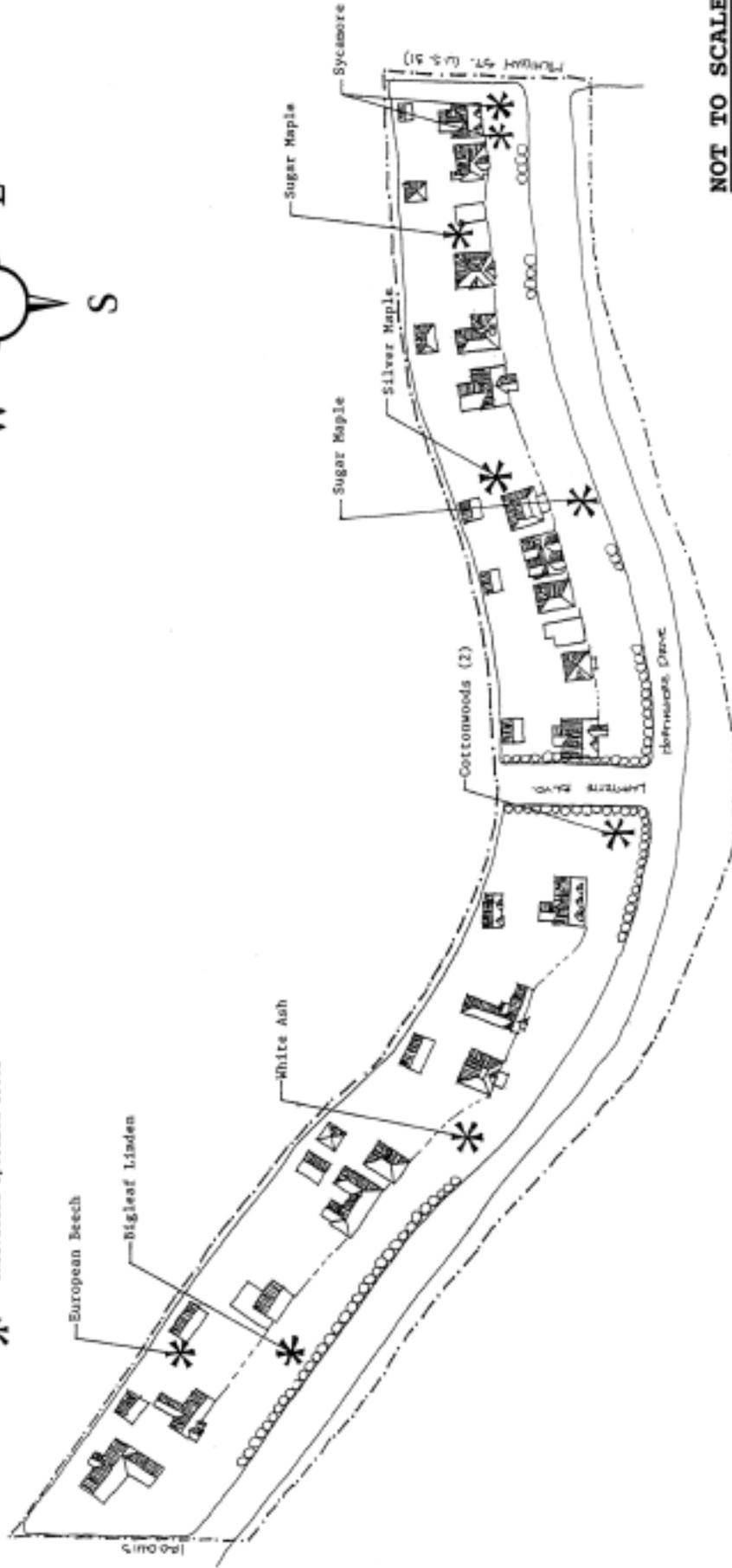
Denials of Certificates of Appropriateness will be based on the inappropriateness of the project or its possible violation the Historic District's Standards and Guidelines. The applicant will be informed of specific reasons for denial by letter (with a copy forwarded to the Building Dept.) explaining the action and suggestions for changes. The owner may re-submit his/her application with the suggested changes to the Staff for review at the next meeting. After all proper procedures are exhausted, the applicant does have the right of appeal to the proper council which will make a final determination on the application.

WEST NORTH SHORE DRIVE LOCAL HISTORIC DISTRICT



LEGEND

- o o o o o Rhythm and Canopy of Street Trees - Broken
- - - - - Setback that Ties Facades Together in Line
- * Individual Specimen Trees



NOT TO SCALE

APPENDIX B

Landscape Assessment Summary

The West North Shore Drive Local Historic District is a scenic collection of homes that each have a very unique identity partially due to the landscape elements present. Consistency in setback distances, vegetation selection and topographic change connects the individual properties to create a visual identity for the district”

Although not a tangible landscape element, the distance of setbacks of the homes from the street is on unifying characteristic. The uniform setback creates a line that connects the structures visually. This line of connection ties the homes together and creates a visual wholeness. Disruption of this line will compromise the visual unity of the district which should be maintained.

The selection of vegetative species is consistent as well. This consistency unifies the individual properties and gives the district a unique character. The dominance of the Eastern Cottonwood (*Populus deltoides*), Sugar Maple (*Acer saccharum*), Norway Maple (*Acer platanoides*) and Sycamore (*Platanus occidentalis*) combination is unique to West North Shore Drive which gives the district an individual appearance when compared to the other Local Historic Districts. Because the Cottonwood and Sycamore are bottomland trees, native along waterways, they are extremely appropriate in this district located along the river.

The size of the tree and the leaf movement make the Cottonwood visually attractive. Unfortunately, the fast-growing, weak-wooded species has a short life expectancy of 60-70 years. The Cottonwood is disliked by many for the fluffy’ seed pods that clog air intakes and litter yards. For this reason the species has been banned from future planting by the City of South Bend. The Tuliptree (*Liriodendron tulipifera*) is a stately species that would match the Cottonwood in size and visual interest as well as rate of growth. The Tuliptree should be considered as a replacement for the Cottonwood when a comparable species is needed. The tuliptree should be chosen with the knowledge that it is a very large tree and is not suited to the tree lawn environment. They should be used in large open spaces where they have space to expand.

The Sycamore is appropriate along the river and in the private yards of residents but should not be placed in the tree lawns due to the frequently dropped twigs, fruits and leaves. A commercial cultivar, the London Plane Tree (*Platanus x acerifolia*), is available and is considered by some experts to be a reasonable replacement for the Sycamore. The London Plane Tree is more hardy and leaves less mess than the native Sycamore but still displays the white bark characteristic of the *Platanus* species. Some experts believe the London Plane Tree is not suited to city planting because it is messier than most trees considered for urban environments. However, the visual interest of the trees, especially along the river and away from the street, outweighs the aforementioned negative attributes.

There is a great deal of debate over the suitability of the Norway Maple versus the Sugar Maples for street tree planting. The Norway Maple is more tolerant of the pollution and more resistant to leaf scorch than the Sugar Maple. the Norway Maple is better suited to planting in the tree lawns due to its tolerance of crowded spaces and the pollution from the streets as well as its tolerance to

poor soils. The Sugar Maple is stronger-wooded and requires a larger, more open planting space.

The substitution of Tuliptrees for Cottonwoods, London Plane Trees for Sycamores and planting of Norway Maples in tree lawns should be encouraged to maintain continuity within the district. These species should be intermixed to avoid a monoculture which can lead to disease or insect infestation and result in widespread damage or loss of trees.

The topographic change from the sidewalk up to the lawn is another unifying element in the West North Shore Local Historic District. The rise is similar to that in the River Bend Local Historic District although not as high and steep. The rise functions in much the same way, creating a visual connection between the individual properties. The rhythm created by the bank and steps leading up from the sidewalk should be maintained in a consistent manner along West North Shore Drive. Any unique treatment including leveling or planting, of the bank will break the connection between properties and compromise the visual continuity of the district.

The treatment of the tree lawn should be uniform to enhance the visual connections created by the landscape. The rhythm created by street tree planting is a classic method used to unify an area and distinguish it visually for the surrounding neighborhoods. The West North Shore Local Historic District could benefit from this type of planting. Shrubs are inappropriate in the tree lawn and should not be allowed. If the individual residents want to choose the species of tree to be placed in the tree lawn adjacent to their property, they should be provided with a list of specific species that are acceptable to maintain visual continuity. This approach would allow the home owners to make the final decision while maintaining the rhythm and visual continuity created by the trees.

Although West North Shore Drive Local Historic District contains a variety of architectural styles, the consistency in the setback distances, vegetative species and topographic change connects the individual structures to create a unified whole. These elements should be maintained and augmented to insure the visual integrity of the landscape in the district.

**SUGGESTED TREES FOR TREE LAWNS IN
WEST NORTH SHORE DRIVE LOCAL HISTORIC DISTRICT**

Norway Maple	(Acer platanoides)
Sugar Maple	(Acer Saccharum)
Tuliptree	(Liriodendron Tulipifera)
London Plane Tree	(Platanus x acerifolia)

Overall Recommendations for Landscape Preservation in Local Historic Districts

VEGETATION

1. Having a list for each Local Historic District that outlines the species of trees allowed in order to maintain species variety as well as visual continuity. When a resident wants to plant a tree in the tree lawn adjacent to their home the list unique to their district can be presented and they can make an informed decision.
2. Any new construction near existing trees, such as sidewalks or driveways, should not encroach on their roots. Disturbance of the root systems can cause serious damage and death.
3. Encourage the use of the botanical or Latin name when specifying which tree is being discussed. This should eliminate any confusion arising from the use of slang terms or common names.
4. Making a Permit necessary for the planting of trees. Requiring the type of tree to be specified will enable the database that has been established to be updated with ease and will keep the records current.
5. A record of the trees present and those planted should be kept to ensure a variety of species and thereby avoid a monoculture in any given area. In the future, limits could be set on the number of any one species of tree within each district. This would further eliminate the possibility of a monoculture and insure visual interest in the street tree planted.
6. Significant trees should be removed only in cases of disease or insect infestation, storm damage when public safety is a factor, or when death of the specimen is impending.
7. Any vegetation with thorns or fruit should be restricted to establishment at least 5 feet away from public rights-of-way. Thorns pose an obvious danger, especially when thorny trees are hanging over the sidewalk at eye level. Fruit, such as that of the Flowering Crabapple, can cause a pedestrian to slip, lose their balance and fall.

TOPOGRAPHY

1. Terracing, planting, ornamentation and any other element that disrupts the effect of the elevation change should be prohibited when the topography is designated as a significant landscape element in a district.

The Local Historic Districts fit into an interesting web of activity within the city of South Bend. With the exception of East Wayne Street and Taylor's Field Local Historic Districts, all of the districts have some kind of connection to the water. The river is an important historic landscape element. Historically, the river provided transportation of goods and people, a source of water for crops and livestock, and a means of entertainment and recreation. The river continues to provide all of these necessities. The Local Historic Districts that are along the river could easily be connected to the Riverwalk, Park and Greenway System that has been designed for South Bend. This type of approach would strengthen the ties of various historic elements in the city and make more apparent the value of these somewhat neglected features.

A portion of Riverside Drive Local Historic District is directly across the river from West North Shore Local Historic District and is connected by the Leeper Park Bridge. Although the physical

connection of the Lafayette Street bridge is no longer present, a visual and psychological link remains. The presence of Shetterley Park within Riverside Drive Local Historic District strengthens the concept of developing ties to the Park System and the Local Historic Districts. River Bend Local Historic District is connected physically by Leeper Park to Riverside Drive Local Historic District. River Bend Local Historic District is, in turn, linked directly to the East Race Waterway that has become a part of the recent history of the city.

Edgewater Place Local Historic District presents a definite opportunity for a physical connection to the river. The residents along Edgewater Drive maintain the riverbank and use it as waterfront property. The University of Notre Dame is another important fixture that is linked to the Local Historic Districts through a visual connection in Edgewater Place Local Historic District. The Notre Dame boat launch is across the river from Edgewater Place Local Historic District. This is an example of two historically significant entities, the Local Historic District and The University of Notre Dame, linking to a third, the river. This is a tie that should be recognized and preserved.

East Wayne Street Local Historic District is tied to the important industry and development of the City of South Bend in a round-about way. Many of the homes built by the tycoons of business and industry are located in East Wayne Street Local Historic District. This is the reason for the establishment of the district which maintains the most historically correct landscape of any of the Local Historic Districts.

Lincolnway East Local Historic District has a tie to the river that is totally ignored. Opening connections to the river, if only visually, would make the district more appealing with a stronger tie to other historic aspects of South Bend.

The history of South Bend is extremely strong with industrial, commercial and educational institutions. The Local Historic Districts present a rich architectural history of the land development in the city. The architectural aspect of history is one easily lost to the possibility of monetary gains. The land is treated in the same fashion.

The landscape elements of the city can tell a story of the community's history. The landscapes in the Local Historic Districts work to tie the individual properties together into a cohesive unit. Standards regulating the alteration of the landscape should be set up to insure that the identifying elements are not defaced and the historical significance lost.

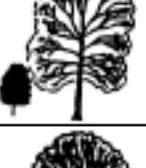
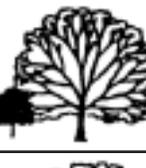
CHOOSING THE RIGHT TREE

The following charts show a list of hardy trees, tolerant of urban environments, that would be acceptable under South Bend City Ordinance No. 3425. This ordinance specifically prohibits planting of the following species: Catalpa, Soft or Silver Maple, Box Elder, Poplar, Cottonwood, Tree of Heaven, Birch, Horse Chestnut, Willow, Mulberry, Chinese Elm (often confused with the Siberian Elm), Ailanthus, Mountain Ash, Carolina Poplar, Basswood and all nut-bearing trees.

"Form" refers to the shape the tree will have. In each drawing, the small, solid image approximates the tree at 15 years while the larger, outlined image represents the tree at maturity. The branch pattern within the outline shows how the silhouette will appear in winter.

The botanical name is the one to use when purchasing a tree to ensure that the proper species is being selected. The common names can be confused and this type of confusion could result in delivery of the wrong tree. Any reputable nursery will use the botanical name to ensure the proper product is being delivered.

Some basic comments referring to fall color, tolerance, any disease problem or outstanding characteristics are provided as a starting point. The nursery will be able to provide more specific information.

FORM	COMMON NAME	BOTANICAL NAME	COMMENTS
HEIGHT OF 65' OR MORE – TREE LAWN OF NO LESS THAN 6'			
	Sugar Maple	<i>Acer saccharum</i>	Yellow in Fall – not for street
	Ginkgo	<i>Ginkgo biloba</i>	Yellow in Fall – light shade
	American Sweetgum	<i>Liquidambar styraciflua</i>	Yellow/scarlet in Fall
	Tulip Tree	<i>Liriodendron tulipifera</i>	Too large for street
	White Oak	<i>Quercus alba</i>	Move only when young
	Scarlet Oak	<i>Quercus coccinea</i>	Less pollution-tolerant
	Pin Oak	<i>Quercus palustris</i>	Chlorosis Prone
	English Oak	<i>Quercus robur</i>	
	Red Oak	<i>Quercus rubra</i>	Russet in Fall
	Japanese Scholar Tree	<i>Sophora japonica</i>	Messy with fruit and flowers like crabapples (<i>Malus</i>)
	Littleleaf Linden	<i>Tilia cordata</i>	
	Japanese Zelkova	<i>Zelkova serrata</i>	Meant to replace Dutch Elm

FORM	COMMON NAME	BOTANICAL NAME	COMMENTS
HEIGHT OF 50' – MEDIUM TO TALL GROWING – TREE LAWN OF NO LESS THAN 5'			
	Norway Maple	<i>Acer platanoides</i>	Very tolerant, dense shade, narrow spreading branches. Leaves in red in Spring then turns green.
	Columnaris Crimson King Schwedleri		
	Hackberry	<i>Celtis occidentalis</i>	Good urban tree
	Yellowwood	<i>Cladrastis lutea</i>	Nice flower – a bit weak-wooded.
	White Ash "Autumn Purple"	<i>Fraxinus americana</i>	Some disease – many seeds. Seedless variety
	Green Ash "Marshall's Seedless"	<i>Fraxinus pennsylvanica</i>	Hardy Seedless variety
HEIGHT OF 40' – MEDIUM GROWING – TREE LAWN OF NO LESS THAN 5'			
	Green Mountain Maple	<i>Acer saccharum</i> "Green Mt."	More tolerant than Sugar Maple
	Seedless Horsechestnut	<i>Aesculus x plantierensis</i>	No nuts
	Golden Raintree	<i>Koelreuteria paniculata</i>	Very tolerant Decorative pods in Fall
HEIGHT OF 25' – SMALL GROWING – TREE LAWN OF NO LESS THAN 5'			
	American Hornbeam	<i>Carpinus carolina</i>	Strong wood Slow growing
	White Fringe Tree	<i>Chionanthus virginiana</i>	Fragrant flowers. Birds love the berries.
	Sourwood	<i>Oxydendrum arboreum</i>	Ornament in all seasons
	Amur Corktree	<i>Phellodendron amurense</i>	Not for street planting

APPENDIX C

Historic District Liaison Committee

1. WHAT IS THE HISTORIC DISTRICT LIAISON COMMITTEE?

A group of three people chosen to work with the residents of the district and the Historic Preservation Commission. (see General, page 27)

2. WHO IS ELIGIBLE TO BECOME MEMBER?

Any property owner in the district, over the age of 18 who volunteers or is nominated.

3. HOW LONG MUST I SERVE AS A COMMITTEE MEMBER?

For a one-, two-, three-year period.

4. HOW OFTEN WILL THE COMMITTEE MEET?

Every four months. In addition, the Historic Preservation Commission meets once a month on the 3rd Monday of each month, and it is advisable to have a representative from the liaison committee from our district attend each meeting.

5. HOW IS THE COMMITTEE SELECTED?

If there are 3 or fewer volunteers or nominees, those persons are the liaisons. If there are more than 3, the property owners in the district will chose 3 by vote.

VOLUNTEER FORM FOR LIAISON COMMITTEE FOR WEST NORTH SHORE DRIVE LOCAL HISTORIC DISTRICT

NAME _____

ADDRESS _____

HOME PHONE _____ BUSINESS PHONE _____

SIGNATURE _____

Please send completed form to: Historic Preservation Commission
West North Shore Drive District Liaison Committee
County-City Building
227 West Jefferson Blvd.
South Bend, Indiana 46601

Duties of Historic District Liaison Committee Members

1. Work and communicate with the residents of the district and the Historic Preservation Commission.
2. Inform and give recommendations to area residents pertaining to the district's standards.
 - a. Meet with new property owners and distribute the standards book along with other pertinent information.
 - b. Notify the Commission of the names and addresses of new owners.
3. Advise Commission of any possible infractions of the historic district standards that may occur with the property owners and work with them toward a solution to the problem.
4. Hold liaison committee meetings once every four months or as situations arise.
 - a. Keep records of all business conducted during these meetings and all other meetings called by the historic district liaison committee.
 - b. Disseminate pertinent information to the district property owners through whatever means available, such as a neighborhood newsletter, flyer, etc.
5. At least one representative of the committee attend the monthly Historic Preservation Commission meeting.
6. Participate in the scheduled revisions and updating of the historic district standards.
7. Make an annual report to the Commission at one of the regularly scheduled meetings.

APPENDIX D

West North Shore Drive Local Historic District Street Lighting

AGREEMENT BETWEEN INDIANA & MICHIGAN ELECTRIC COMPANY AND HISTORIC PRESERVATION COMMISSION OF SOUTH BEND & ST. JOSEPH COUNTY

WHEREAS, Indiana & Michigan Electric Company, hereinafter called "I&M," and the Historic Preservation Commission of South Bend and St. Joseph County have a mutual interest in maintaining the character of historic districts and in providing adequate lighting for public ways, the parties now agree as follows:

1. I&M will apply to the Historic Preservation Commission for approval of designs of replacement lamp fixtures which shall be uniform for all Historic Preservation Districts. Thereafter, should a lamp fixture require removal and no replacement lamp fixture of similar design be available from the City or other sources, the pre-approved design will be allowed in the Historic Preservation Districts subject to directions from the South Bend City Engineering Department.
2. In the event a lamp fixture in a Historic Preservation District is damaged, I&M will de-energize and remove the damaged lamp fixture for the public safety; however, no replacement will be made until specific instructions are received from the South Bend City Engineering Department.
3. When historic lamp fixtures or poles are removed from Historic Preservation Districts or in front of any Historic Landmark or when other "old style" lamp fixtures are removed from areas of the city not within Historic Preservation Districts, said poles and fixtures will be made available to, and stored by, the City of South Bend. As replacement lights are required within Historic Preservation Districts they will be drawn from this supply. In the event that there are no historic or "old style" lamps in storage, then the pre-approved design of replacement lamp fixtures, as referred to in paragraph no. 1 above, will be installed.
4. I&M reserves the right to determine when the lamps have been damaged to a point when they cannot be repaired.
5. This Agreement may be cancelled by either party upon the other party giving at least six (6) months notice in writing of its decision to cancel this Agreement.

Jim Cartwright
Energy Services Supervisor

James Allison
Division Manager

John Oxian
V.P. Historic Preservation Commission

JoAnn Sporleder
Historic Preservation Commission